



Rizzetta & Company

## **Seven Oaks Community Development District**

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### **Board of Supervisors' Meeting February 4, 2026**

**District Office:  
5844 Old Pasco Road, Suite 100  
Wesley Chapel, FL 33544  
813-994-1001**

**[www.sevenoakscdd.com](http://www.sevenoakscdd.com)**

**SEVEN OAKS  
COMMUNITY DEVELOPMENT DISTRICT**

Seven Oaks Clubhouse, 2910 Sports Core Circle, Wesley Chapel, FL 33544

<b>Board of Supervisors</b>	Andrew Mendenhall Chairman	
	Sean Grace	Vice Chairman
	Theodore Rhodes	Assistant Secretary
	Jon Tomsu	Assistant Secretary
	Jack Christensen	Assistant Secretary
<b>District Manager</b>	Lisa Castoria	Rizzetta & Company, Inc.
<b>District Counsel</b>	Kathryn Hopkinson	Straley Robin & Vericker
<b>District Engineer</b>	Greg Woodcock	Stantec Consulting

**All cellular phones must be placed on mute while in the meeting room.**

The Audience Comment portion of the agenda is where individuals may make comments on matters that concern the District. Individuals are limited to a total of three (3) minutes to make comments during this time.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting/hearing/workshop is asked to advise the District Office at least forty-eight (48) hours before the meeting/hearing/workshop by contacting the District Manager at (813) 933-5571. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY), or 1-800-955-8770 (Voice), who can aid you in contacting the District Office.

A person who decides to appeal any decision made at the meeting/hearing/workshop with respect to any matter considered at the meeting/hearing/workshop is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.



**SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT**  
**DISTRICT OFFICE • 5844 OLD PASCO RD, SUITE 100 • WESLEY CHAPEL, FL 33544**  
**MAILING ADDRESS • 3434 COLWELL AVE, STE 200 • TAMPA, FL 33614**

[WWW.SEVENOAKSCDD.COM](http://WWW.SEVENOAKSCDD.COM)

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January 28, 2026

Board of Supervisors  
**Seven Oaks Community  
Development District**

**FINAL AGENDA**

Dear Board Members:

The regular meeting of the Board of Supervisors of Seven Oaks Community Development District will be held on **Wednesday, February 4, 2026 at 6:00 p.m.** at the Seven Oaks Clubhouse, located at 2910 Sports Core Circle, Wesley Chapel, FL 33544. The following is the agenda for this meeting.

- 1. CALL TO ORDER/ROLL CALL**
- 2. AUDIENCE COMMENTS**
- 3. REPORTS & PRESENTATIONS**
  - A. District Engineer
  - B. District Counsel
    - i. Discussion of Purchase of SB Assoc. Property
  - C. Field Operations Manager
    - i. Presentation of Field Manager's Report ..... Tab 1
  - D. Clubhouse Manager Report ..... Tab 2
    - i. Discussion on Perfect Fryer
  - E. District Manager
    - i. Review of District Manager's Report ..... Tab 3
    - ii. Review of Financial Statements ..... Tab 4
- 4. BUSINESS ITEMS**
  - A. Ratification of Facility Use Agreement ..... Tab 5
  - B. Ratification of LAS Environmental Site Assessment ..... Tab 6
  - C. Ratification of RGA Design Proposal for ADA Inspection.. Tab 7
  - D. Review of the Updated Reserve Study Report..... Tab 8
  - E. Discussion of Willow Creek Speed Table
  - F. Discussion of Pool Heat, Temperature Setting and Cost
- 5. CONSENT AGENDA/BUSINESS ADMINISTRATION**
  - A. Consideration of Minutes of the Board of Supervisors' Regular Meeting held on December 3, 2025 and Special Meeting held on December 19, 2025 ..... Tab 9
  - B. Ratification of November O&M Reports for the Enterprise and General Funds ..... Tab 10

**6. SUPERVISOR REQUESTS**  
**7. ADJOURNMENT**

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to call us at (813) 994-1001.

Sincerely,  
*Lisa Castoria*  
Lisa Castoria  
District Manager

## Tab 1

# Seven Oaks Field Operations Update

CDD Meeting 02/04/26

## Landscaping:

- Freeze damage is evident throughout the property.
- Center median in front of Brookforest received new sod and Arboricola.



- Easement just north of Villas of Willowcreek received new sod and three new Bottlebrush trees.



## Playgrounds:

- Sixteen playgrounds have received new mulch.
- The three new playgrounds have tentative delivery date of mid-April.

## Clubhouse:

- New cabinetry and countertops for the gathering room and kitchen are scheduled for installation in the third week of February.
- Fireplace repair is now complete. New pilot light assembly was needed.
- New bottle filler was installed on tennis courts four/five.



## Roadway Pavers:

- Roadway paver repairs at the exit of Summergate Blvd and Bruce B Downs have been scheduled.



## Entrance Fountain:

- The west fountain developed an underground leak and is currently being repaired.



## Tab 2

# February 2026

## Upcoming and Planned Events

Themed Bingos- Fiesta (Taco Bar, Beverages, Desserts, Gift Cards), Valentine's Kids (Valentine Prizes, Pizza, Beverages Desserts), St. Patrick's Day (Corned Beef and Cabbage, Shepard's Pie, Irish Soda Bread, Beverages, Coffee, Desserts, Gift Cards)

Storytime-Crafts, Story, Snack and Beverage

Country Theme- Instructional Line Dancing, Mechanical Bull and BBQ Dinner

Alice in Wonderland Themed Easter Celebration- Meet and Greet Alice in Wonderland, Mad Hatter, Cheshire Cat and White Rabbit, Adult Pie Eating Contest, Egg Hunt, DJ, Face Painting, Balloon Twister, Hair Tinsel, Petting Zoo, Pony Rides, Games, Food and Dessert Truck

Father's Day- Spin the Wheel, prizes and Donuts

Jazz Night- 3 man ensemble, serving light hors d'oeuvres and desserts

Parent's Night Out

Food Trucks

Mother's Day-Floral design and family tote decorating, raffle and desserts

Harvest Festival-DJ, Quad Jumper, Touch a Truck, Rock Climbing, Carnival Games, Bounce House, Dunk Tank, Vendor Booths, Obstacle Course, Photo Opp, Crafts, Face Painter, Popcorn, Cotton Candy, Raffle Drawings, Costume Contest, Adult Pie Eating Contest, Pumpkin Decorating, Scarecrow Stuffing

Christmas in New York Themed Party-Dancers-Carolers-Stilt Walker-New York Style Food Stations- Desserts-Beverages- Snow-DJ-Games-Santa-Snowman(pending agreement)

Planning in Progress-End of year school party (Pirates and Mermaid Theme) -Back to School- Cinco de Mayo-Memorial Day-July 4<sup>th</sup>-Labor Day

### **New Programs**

**Youth Power and Performance-developing youth athletes with speed, power and agility**

**Swim Team**

**Pending ( late afternoon swim lessons, 2x week)**

**Pending (water aerobics)**

**Fire Extinguishers-scheduled for inspection 2/2**

**As of 1/12 we discontinued accepting cash**

### **Follow up**

**Attorney agreements for review**

**Nate Tennis Instructor**

**Mother's Day**

## **Tab 3**



### UPCOMING DATES TO REMEMBER

- **Next Regular Meeting:** March 4<sup>th</sup> at 3:00PM
- **Budget Workshop:** TBD

## District Manager's Report

February 4

# 2026

### FINANCIAL SUMMARY

12/31/2025

General Fund Cash & Investment Balance:		\$3,811,415
Reserve Fund Cash & Investment Balance:		\$4,804,845
Debt Service Fund Cash & Investment Balance:		\$2,104,451
Enterprise Fund Cash Balance:		\$67,724
<b>Total Cash and Investment Balances:</b>		<b>\$10,788,435</b>
<b>General Fund Expense Variance:</b>	<b>\$90,656</b>	<b>Over Budget</b>
<b>Enterprise Fund Expense Variance:</b>	<b>\$7,032</b>	<b>Under Budget</b>

## Tab 4





Rizzetta & Company

# **Seven Oaks Community Development District**

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**Financial Statements  
(Unaudited)**

**December 31, 2025**

**Prepared by: Rizzetta & Company, Inc.**

[sevenoakscdd.com](http://sevenoakscdd.com)

[rizzetta.com](http://rizzetta.com)

**Seven Oaks Community Development District**

Balance Sheet

As of 12/31/2025

(In Whole Numbers)

	General Fund	Reserve Fund	Debt Service Fund	Enterprise Fund	Total Gvmnt Fund	Fixed Assets Group	Long-Term Debt
<b>Assets</b>							
Cash In Bank	3,333,214	1,109,176	0	67,724	4,510,114	0	0
Investments	478,201	3,695,669	2,104,451	0	6,278,321	0	0
Accounts Receivable	442,710	0	156,878	0	599,587	0	0
Prepaid Expenses	3,698	0	0	0	3,698	0	0
Refundable Deposits	65,680	0	0	0	65,680	0	0
Fixed Assets	0	0	0	0	0	64,296,115	0
Amount Available in Debt Service	0	0	0	0	0	0	2,261,329
Amount To Be Provided Debt Service	0	0	0	0	0	0	9,134,671
<b>Total Assets</b>	<b>4,323,503</b>	<b>4,804,845</b>	<b>2,261,329</b>	<b>67,724</b>	<b>11,457,400</b>	<b>64,296,115</b>	<b>11,396,000</b>
<b>Liabilities</b>							
Accounts Payable	155,601	103,130	0	948	259,679	0	0
Accrued Expenses	39,548	0	0	0	39,548	0	0
Other Current Liabilities	0	0	0	689	689	0	0
Revenue Bonds Payable-Long Term	0	0	0	0	0	0	11,396,000
<b>Total Liabilities</b>	<b>195,149</b>	<b>103,130</b>	<b>0</b>	<b>1,637</b>	<b>299,916</b>	<b>0</b>	<b>11,396,000</b>
<b>Fund Equity &amp; Other Credits</b>							
Beginning Fund Balance	2,186,199	3,657,845	954,027	36,235	6,834,307	0	0
Investment In General Fixed Assets	0	0	0	0	0	64,296,115	0
Net Change in Fund Balance	1,942,155	1,043,870	1,307,302	29,852	4,323,178	0	0
<b>Total Fund Equity &amp; Other Credits</b>	<b>4,128,354</b>	<b>4,701,715</b>	<b>2,261,329</b>	<b>66,087</b>	<b>11,157,485</b>	<b>64,296,115</b>	<b>0</b>
<b>Total Liabilities &amp; Fund Equity</b>	<b>4,323,503</b>	<b>4,804,845</b>	<b>2,261,329</b>	<b>67,724</b>	<b>11,457,400</b>	<b>64,296,115</b>	<b>11,396,000</b>

See Notes to Unaudited Financial Statements

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
<b>Revenues</b>				
Interest Earnings				
Interest Earnings	75,000	75,000	8,516	(66,484)
Special Assessments				
Tax Roll	3,062,998	3,062,998	3,082,103	19,105
Other Misc. Revenues				
Event Rental	100,000	100,000	19,862	(80,138)
Miscellaneous Revenue	25,000	25,000	14,839	(10,161)
<b>Total Revenues</b>	<b>3,262,998</b>	<b>3,262,998</b>	<b>3,125,320</b>	<b>(137,678)</b>
<b>Expenditures</b>				
Legislative				
Supervisor Fees	15,000	3,750	4,800	(1,050)
<b>Total Legislative</b>	<b>15,000</b>	<b>3,750</b>	<b>4,800</b>	<b>(1,050)</b>
Financial & Administrative				
Accounting Services	28,500	7,125	7,125	0
Administrative Services	9,700	2,425	2,425	0
Arbitrage Rebate Calculation	1,000	250	1,000	(750)
Assessment Roll	5,250	5,250	5,250	0
Auditing Services	5,600	0	0	0
Disclosure Report	2,000	500	500	0
District Engineer	65,000	16,250	13,787	2,463
District Management	44,025	11,006	11,006	0
Dues, Licenses & Fees	2,300	575	543	33
Financial & Revenue Collections	5,250	1,313	1,312	0
Legal Advertising	2,000	500	118	382
Public Officials Liability Insurance	4,919	4,919	4,634	285
Tax Collector/Property Appraiser Fees	150	0	0	0
Trustees Fees	11,500	7,100	5,913	1,187
Website Hosting, Maintenance, Backup & E	5,965	1,491	1,035	456
<b>Total Financial &amp; Administrative</b>	<b>193,159</b>	<b>58,704</b>	<b>54,648</b>	<b>4,056</b>
Legal Counsel				
District Counsel	50,000	12,500	16,637	(4,137)
Litigation / Mediation	10,000	2,500	0	2,500
<b>Total Legal Counsel</b>	<b>60,000</b>	<b>15,000</b>	<b>16,637</b>	<b>(1,637)</b>
Law Enforcement				
Off Duty Deputy	12,000	3,000	3,200	(200)
<b>Total Law Enforcement</b>	<b>12,000</b>	<b>3,000</b>	<b>3,200</b>	<b>(200)</b>
Security Operations				
Security Monitoring Services	4,000	1,000	17,663	(16,663)
<b>Total Security Operations</b>	<b>4,000</b>	<b>1,000</b>	<b>17,663</b>	<b>(16,663)</b>
Electric Utility Services				
Utility - Irrigation & Landscape Lightin	47,000	11,750	12,431	(681)
Utility - Recreation Facilities	85,000	21,250	22,491	(1,241)

See Notes to Unaudited Financial Statements

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
Utility - Street Lights	250,000	62,500	62,589	(89)
Total Electric Utility Services	382,000	95,500	97,511	(2,011)
Gas Utility Service				
Utility Services	700	175	129	46
Total Gas Utility Service	700	175	129	46
Garbage/Solid Waste Control Services				
Garbage - Recreation Facility	17,000	4,250	3,076	1,174
Solid Waste Assessment	10,440	10,440	10,800	(360)
Total Garbage/Solid Waste Control Services	27,440	14,690	13,876	814
Water-Sewer Combination Services				
Utility - Fountains	1,000	250	448	(198)
Utility - Reclaimed	25,000	6,250	6,749	(499)
Utility Services	30,000	7,500	6,096	1,404
Total Water-Sewer Combination Services	56,000	14,000	13,293	707
Stormwater Control				
Aquatic Maintenance	59,193	14,798	14,517	282
Lake/Pond Bank Maintenance & Repair	20,000	5,000	23,400	(18,400)
Stormwater Assessments	6,157	6,157	5,864	292
Stormwater System Maintenance	10,000	2,500	18,675	(16,175)
Total Stormwater Control	95,350	28,455	62,456	(34,001)
Other Physical Environment				
Clock Tower Maintenance	2,000	500	397	103
Community Park Equipment	25,000	6,250	13,330	(7,080)
Employee - Payroll Taxes	19,934	4,984	5,399	(415)
Employee - Salaries	261,000	65,250	70,563	(5,313)
Employee - Workers Comp	11,048	11,048	10,794	254
Entry & Walls Maintenance & Repair	4,000	1,000	4,900	(3,900)
General Liability & Property Insurance	54,148	54,148	52,646	1,501
Holiday Decorations	40,000	40,000	38,559	1,441
Hurricane Related Expenses	50,000	12,500	0	12,500
Irrigation Maintenance & Repair	50,000	12,500	5,568	6,933
Landscape - Annuals/Flowers	250,000	62,500	169,746	(107,247)
Landscape Maintenance	1,031,803	257,950	258,876	(925)
Landscape Replacement Plants, Shrubs, Tr	150,000	37,500	730	36,770
Miscellaneous Expense	10,000	2,500	3,047	(547)
Ornamental Lighting & Maintenance	4,000	1,000	295	705
Pressure Washing	57,000	14,250	0	14,250
Tree Trimming Services	240,000	60,000	0	60,000
Total Other Physical Environment	2,259,933	643,880	634,850	9,030
Road & Street Facilities				
Roadway Repair & Maintenance	20,000	5,000	0	5,000
Sidewalk Maintenance & Repair	50,000	12,500	40,709	(28,209)
Street Sign Repair & Replacement	7,500	1,875	10,664	(8,789)
Total Road & Street Facilities	77,500	19,375	51,373	(31,998)

See Notes to Unaudited Financial Statements

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
<b>Parks &amp; Recreation</b>				
Access Control Maintenance & Repair	6,000	1,500	692	809
Athletic Court/Field/Playground Maintenance	15,000	3,750	0	3,750
Clubhouse Janitorial Services	45,000	11,250	11,110	140
Employee - Payroll Taxes	25,993	6,499	6,164	334
Employee - Salaries	337,330	84,332	81,420	2,912
Facility Supplies	8,000	2,000	940	1,060
Fitness Equipment Maintenance & Repair	10,000	2,500	165	2,335
Fountain Service Repair & Maintenance	10,000	2,500	2,239	261
Furniture Repair & Replacement	7,500	1,875	2,263	(388)
Maintenance & Repairs	50,000	12,500	19,387	(6,887)
Miscellaneous Expense	20,000	5,000	8,284	(3,283)
Office Supplies	4,500	1,125	1,319	(195)
Pest Control	500	125	150	(25)
Pool Repair & Maintenance	17,000	4,250	2,968	1,282
Pool Service Contract	89,829	22,457	21,297	1,160
Storage Shed	3,264	816	816	0
Telephone, Internet, Cable	7,500	1,875	1,520	356
Tennis Court Maintenance & Supplies	30,000	7,500	2,719	4,780
Vehicle Maintenance	7,500	1,875	5,037	(3,161)
<b>Total Parks &amp; Recreation</b>	<b>694,916</b>	<b>173,729</b>	<b>168,490</b>	<b>5,240</b>
<b>Special Events</b>				
Special Events	85,000	21,250	44,239	(22,989)
<b>Total Special Events</b>	<b>85,000</b>	<b>21,250</b>	<b>44,239</b>	<b>(22,989)</b>
<b>Total Expenditures</b>	<b>3,962,998</b>	<b>1,092,508</b>	<b>1,183,165</b>	<b>(90,656)</b>
<b>Total Excess of Revenues Over(Under) Expenditures</b>	<b>(700,000)</b>	<b>2,170,490</b>	<b>1,942,155</b>	<b>(228,334)</b>
<b>Total Other Financing Sources(Uses)</b>				
Carry Forward Fund Balance				
Carry Forward Fund Balance	700,000	700,000	0	(700,000)
<b>Total Other Financing Sources(Uses)</b>	<b>700,000</b>	<b>700,000</b>	<b>0</b>	<b>(700,000)</b>
<b>Fund Balance, Beginning of Period</b>	<b>0</b>	<b>0</b>	<b>2,186,199</b>	<b>2,186,199</b>
<b>Total Fund Balance, End of Period</b>	<b>0</b>	<b>2,870,490</b>	<b>4,128,354</b>	<b>1,257,865</b>

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
<b>Revenues</b>				
Interest Earnings				
Interest Earnings	150,000	150,000	37,815	(112,185)
Special Assessments				
Tax Roll	1,097,600	1,097,600	1,097,600	0
<b>Total Revenues</b>	<u>1,247,600</u>	<u>1,247,600</u>	<u>1,135,415</u>	<u>(112,185)</u>
<b>Expenditures</b>				
Contingency				
Capital Reserve	1,247,600	1,247,600	112,253	1,135,347
<b>Total Contingency</b>	<u>1,247,600</u>	<u>1,247,600</u>	<u>112,253</u>	<u>1,135,347</u>
<b>Total Expenditures</b>	<u>1,247,600</u>	<u>1,247,600</u>	<u>112,253</u>	<u>1,135,347</u>
<b>Total Excess of Revenues Over(Under) Ex-</b>	<u>0</u>	<u>0</u>	<u>1,023,162</u>	<u>1,023,162</u>
<b>penditures</b>				
<b>Total Other Financing Sources(Uses)</b>				
Interfund Transfer (Revenue)				
Interfund Transfer	0	0	20,699	20,699
Other Costs				
Unrealized Gain/Loss on Investments	0	0	8	8
<b>Total Other Financing Sources(Uses)</b>	<u>0</u>	<u>0</u>	<u>20,707</u>	<u>20,707</u>
<b>Fund Balance, Beginning of Period</b>	<u>0</u>	<u>0</u>	<u>3,657,846</u>	<u>3,657,846</u>
<b>Total Fund Balance, End of Period</b>	<u>0</u>	<u>0</u>	<u>4,701,715</u>	<u>4,701,715</u>



730 Debt Service Fund S2011 & S2021 **Seven Oaks Community Development District**

Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
Revenues				
Interest Earnings				
Interest Earnings	0	0	1,661	1,661
Special Assessments				
Tax Roll	564,087	564,087	566,651	2,565
Total Revenues	<u>564,087</u>	<u>564,087</u>	<u>568,312</u>	<u>4,226</u>
Expenditures				
Debt Service				
Interest	95,087	95,087	49,012	46,074
Principal	469,000	469,000	0	469,000
Total Debt Service	<u>564,087</u>	<u>564,087</u>	<u>49,012</u>	<u>515,074</u>
Total Expenditures	<u>564,087</u>	<u>564,087</u>	<u>49,012</u>	<u>515,074</u>
Total Excess of Revenues Over(Under) Expenditures	<u>0</u>	<u>0</u>	<u>519,300</u>	<u>519,300</u>
Total Other Financing Sources(Uses)				
Interfund Transfer (Expense)				
Interfund Transfer	0	0	(20,699)	(20,699)
Total Other Financing Sources(Uses)	<u>0</u>	<u>0</u>	<u>(20,699)</u>	<u>(20,699)</u>
Fund Balance, Beginning of Period	<u>0</u>	<u>0</u>	<u>182,487</u>	<u>182,487</u>
Total Fund Balance, End of Period	<u>0</u>	<u>0</u>	<u>681,088</u>	<u>681,088</u>

See Notes to Unaudited Financial Statements

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
Revenues				
Interest Earnings				
Interest Earnings	0	0	7,010	7,010
Special Assessments				
Tax Roll	925,434	925,434	929,641	4,207
Total Revenues	<u>925,434</u>	<u>925,434</u>	<u>936,651</u>	<u>11,217</u>
Expenditures				
Debt Service				
Interest	270,434	270,434	127,950	142,484
Principal	655,000	655,000	0	655,000
Total Debt Service	<u>925,434</u>	<u>925,434</u>	<u>127,950</u>	<u>797,484</u>
Total Expenditures	<u>925,434</u>	<u>925,434</u>	<u>127,950</u>	<u>797,484</u>
Total Excess of Revenues Over(Under) Expenditures	<u>0</u>	<u>0</u>	<u>808,701</u>	<u>808,701</u>
Fund Balance, Beginning of Period	<u>0</u>	<u>0</u>	<u>771,540</u>	<u>771,540</u>
Total Fund Balance, End of Period	<u>0</u>	<u>0</u>	<u>1,580,241</u>	<u>1,580,241</u>

**Seven Oaks Community Development District**

## Statement of Revenues and Expenditures

As of 12/31/2025

(In Whole Numbers)

	Year Ending 09/30/2026 Annual Budget	Through 12/31/2025 YTD Budget	Year To Date 12/31/2025 YTD Actual	YTD Variance
<b>Revenues</b>				
Special Assessments				
Tax Roll	42,850	42,850	42,850	0
Club Revenues				
Cafe Revenue	70,000	70,000	8,182	(61,818)
<b>Total Revenues</b>	<b>112,850</b>	<b>112,850</b>	<b>51,032</b>	<b>(61,818)</b>
<b>Expenditures</b>				
Parks & Recreation				
Beverages	17,000	4,250	1,263	2,987
Cafe Miscellaneous Expense	2,500	625	284	341
Employee - Payroll Taxes	3,935	984	1,074	(90)
Employee - Salaries	51,415	12,854	14,037	(1,183)
Equipment	1,500	375	211	163
Food	30,000	7,500	3,289	4,211
Maintenance & Repairs	2,500	624	400	225
Supplies	4,000	1,000	622	378
<b>Total Parks &amp; Recreation</b>	<b>112,850</b>	<b>28,212</b>	<b>21,180</b>	<b>7,032</b>
<b>Total Expenditures</b>	<b>112,850</b>	<b>28,212</b>	<b>21,180</b>	<b>7,032</b>
<b>Total Excess of Revenues Over(Under) Ex-</b>	<b>0</b>	<b>84,638</b>	<b>29,852</b>	<b>(54,786)</b>
<b>pensitures</b>				
Fund Balance, Beginning of Period	0	0	36,235	36,235
<b>Total Fund Balance, End of Period</b>	<b>0</b>	<b>84,638</b>	<b>66,087</b>	<b>(18,551)</b>

**Seven Oaks CDD**  
**Investment Summary**  
**December 31, 2025**

<u>Account</u>	<u>Investment</u>	<u>Balance as of</u> <u>December 31, 2025</u>
FLCLASS	Average Monthly Yield 3.8943%	\$ 478,201
<b>Total General Fund Investments</b>		<b><u>\$ 478,201</u></b>
FLCLASS	Average Monthly Yield 3.8943%	\$ 2,518,379
FLCLASS Enhanced Cash	Average Monthly Yield 4.0396%	1,177,290
<b>Total Reserve Fund Investments</b>		<b><u>\$ 3,695,669</u></b>
US Bank Series 2016A Revenue	First American Funds Inc SHS Government Obligation Fund 3763	\$ 331,105
US Bank Series 2016A-1 Prepayment	First American Funds Inc SHS Government Obligation Fund 3763	21
US Bank Series 2016A-1 Reserve	First American Funds Inc SHS Government Obligation Fund 3763	208,295
US Bank Series 2016A-2 Reserve	First American Funds Inc SHS Government Obligation Fund 3763	11,437
US Bank Series 2016A-2 Prepayment	First American Funds Inc SHS Government Obligation Fund 3763	44,050
US Bank Series 2016B Revenue	First American Funds Inc SHS Government Obligation Fund 3763	509,179
US Bank Series 2016B-1 Prepayment	First American Funds Inc SHS Government Obligation Fund 3763	48,584
US Bank Series 2016B-1 Reserve	First American Funds Inc SHS Government Obligation Fund 3763	207,763
US Bank Series 2016B-2 Reserve	First American Funds Inc SHS Government Obligation Fund 3763	70,688
US Bank Series 2016B-2 Prepayment	First American Funds Inc SHS Government Obligation Fund 3763	51,651
US Bank Series 2021 Revenue	First American Funds Inc SHS Government Obligation Fund 3763	508,322
US Bank Series 2021 Reserve	First American Funds Inc SHS Government Obligation Fund 3763	112,612
US Bank Series 2021 Prepayment	First American Funds Inc SHS Government Obligation Fund 3763	744
<b>Total Debt Service Fund Investments</b>		<b><u>\$ 2,104,451</u></b>

FirstService Financial, an affiliate by ownership to your management company Rizzetta & Company, provides banking solutions exclusively to clients of Rizzetta & Company. FirstService Financial receives a monthly administration fee from partner financial institutions for our assistance with the development, placement, service, and maintenance of our banking programs without impacting the interest our clients earn on their funds. The monthly administration fee varies as it is negotiated with each participating financial institution.

**Seven Oaks Community Development District  
Summary A/R Ledger  
1rom 12/01/2025 to 12/31/2025**

<b>Fund_ID</b>	<b>Fund Name</b>	<b>Customer</b>	<b>Invoice Number</b>	<b>AR Account</b>	<b>Date</b>	<b>Balance Due</b>
<b>730, 2677</b>						
730-001	730 General Fund	Pasco County Tax Collector	AR00002785	12110	10/01/2025	442,709.66
<b>Sum for 730, 2677</b>						<b>442,709.66</b>
<b>730, 2679</b>						
730-200	730 Debt Service Fund S2011 & S2021	Pasco County Tax Collector	AR00002785	12110	10/01/2025	59,410.03
<b>Sum for 730, 2679</b>						<b>59,410.03</b>
<b>730, 2680</b>						
730-202	730 Debt Service Fund S2016	Pasco County Tax Collector	AR00002785	12110	10/01/2025	59,491.89
730-202	730 Debt Service Fund S2016	Pasco County Tax Collector	AR00002785	12110	10/01/2025	37,975.47
<b>Sum for 730, 2680</b>						<b>97,467.36</b>
<b>Sum for 730</b>						<b>599,587.05</b>
<b>Sum Total</b>						<b>599,587.05</b>

See Notes to Unaudited Financial Statements

**Seven Oaks Community Development District**  
**Summary A/P Ledger**  
**From 12/01/2025 to 12/31/2025**

<b>Fund Name</b>	<b>GL posting date</b>	<b>Vendor name</b>	<b>Document number</b>	<b>Description</b>	<b>Balance Due</b>
<b>730, 2677</b>					
730 General Fund	12/01/2025	All-Bounce Tampa	549	02/21/26 - Event Rentals	634.80
730 General Fund	12/15/2025	Amazing Colors Paint- ing Inc.	316	Paint & Fence Work 12/25	14,650.00
730 General Fund	12/29/2025	Ayers Distributing Company	3464	Easter Eggs 12/25	745.00
730 General Fund	12/10/2025	Catrina Walters	124	50% Deposit: Easter Party Event 04/26	750.00
730 General Fund	12/02/2025	Catrina Walters	121	Thanksgiving Event 2026	1,932.50
730 General Fund	12/10/2025	Catrina Walters	125	Easter Event 12/25	750.00
730 General Fund	12/24/2025	Cintas Corporation	4254296368	Janitorial Supplies 12/25	186.44
730 General Fund	12/01/2025	Cooper Pools Remodeling & Resurfacing Inc	2025-1442	Pool Monthly Maintenance 12/25	15.00
730 General Fund	12/01/2025	Cooper Pools Remodeling & Resurfacing Inc	2025-1442	Pool Monthly Maintenance 12/25	6,233.00
730 General Fund	12/17/2025	Egis Insurance Advisors, LLC	31211	Workers Compensation & TRIA 12/25	2,582.00
730 General Fund	12/11/2025	Forsite	JF3015RREV1	Street Sign Replacement 12/25	3,670.37
730 General Fund	12/11/2025	Forsite	JF3014RREV1	Street Sign Replacement 12/25	6,994.00
730 General Fund	12/09/2025	Frontier Communications of FL	813-994-3055-060923-5 12/25	813-994-3055-060923-5 12/25	124.99
730 General Fund	12/05/2025	Juniper Landscaping of Florida, LLC	372227	Landscape Materials 12/25	3,675.00
730 General Fund	12/01/2025	Juniper Landscaping of Florida, LLC	370275	Landscape Maintenance Renewal 12/25	85,066.92
730 General Fund	12/19/2025	Pasco County Utilities	23656517 11/25	Stonecreek Way 11/25	8.08
730 General Fund	12/19/2025	Pasco County Utilities	23656519 11/25	0 Watermark Dr 11/25	89.89
730 General Fund	12/19/2025	Pasco County Utilities	23656496 11/25	3247 Chapel Creek Circle 11/25	12.12
730 General Fund	12/19/2025	Pasco County Utilities	23656486 11/25	0 Shoregrass Dr 11/25	13.13
730 General Fund	12/19/2025	Pasco County Utilities	23656478 11/25	0 Water Ash Dr 11/25	12.12
730 General Fund	12/19/2025	Pasco County Utilities	23656473 11/25	0 Silvermoss Dr 11/25	49.49
730 General Fund	12/19/2025	Pasco County Utilities	23656520 11/25	0 Watermark Dr 11/25	1.01
730 General Fund	12/19/2025	Pasco County Utilities	23656516 11/25	0 Granite Glen Loop 11/25	16.16
730 General Fund	12/19/2025	Pasco County Utilities	23656515 11/25	0 Rustic Pine Pl 11/25	8.08
730 General Fund	12/19/2025	Pasco County Utilities	23656510 11/25	0 Gentlewinds Pl 11/25	33.33
730 General Fund	12/19/2025	Pasco County Utilities	23656508 11/25	0 Ancient Oaks Blvd 11/25	275.73
730 General Fund	12/19/2025	Pasco County Utilities	23656504 11/25	0 Fawnmist Dr 11/25	8.08
730 General Fund	12/19/2025	Pasco County Utilities	23688727 11/25	0 Edenfield Dr 11/25	16.16
730 General Fund	12/19/2025	Pasco County Utilities	23656509 11/25	0 Eagleston Blv 11/25	292.90
730 General Fund	12/19/2025	Pasco County Utilities	23656502 11/25	27403 Mistflower Dr 11/25	35.35
730 General Fund	12/19/2025	Pasco County Utilities	23656512 11/25	10 Roseling Ct 11/25	4.04
730 General Fund	12/19/2025	Pasco County Utilities	23656468 11/25	0 Ancient Oaks Blv 11/25	589.84
730 General Fund	12/19/2025	Pasco County Utilities	23656498 11/25	0 Mystic Oaks Blvd 11/25	191.90
730 General Fund	12/19/2025	Pasco County Utilities	23656467 11/25	0 Summergate Blvd 11/25	448.44
730 General Fund	12/19/2025	Pasco County Utilities	23656511	Utilities: 0 Rustic Pine Pl 11/25	7.07
730 General Fund	12/19/2025	Pasco County Utilities	23656521	Utilities: 0 Indigo Pond Ct 11/25	1.01
730 General Fund	12/19/2025	Pasco County Utilities	23656470 11/25	0 Ancient Oaks/Sports 11/25	352.49
730 General Fund	12/19/2025	Pasco County Utilities	23656513 11/25	10 Wildstar Cir- Park 11/25	19.19



**Seven Oaks Community Development District  
Summary A/P Ledger  
From 12/01/2025 to 12/31/2025**

<b>Fund Name</b>	<b>GL posting date</b>	<b>Vendor name</b>	<b>Document number</b>	<b>Description</b>	<b>Balance Due</b>
730 General Fund	12/19/2025	Pasco County Utilities	23658207 11/25	0 Ancient Oaks Blvd 11/25	99.12
730 General Fund	12/19/2025	Pasco County Utilities	23656474 11/25	0 Kirkwood Cir 11/25	17.17
730 General Fund	12/19/2025	Pasco County Utilities	23658205 11/25	0 Ancient Oaks Blvd & SR 58 11/25	28.35
730 General Fund	12/19/2025	Pasco County Utilities	23656523 11/25	4261 Windcrest Dr 11/25	44.44
730 General Fund	12/19/2025	Pasco County Utilities	23659131 11/25	Vermillion Sky North Reclaim Dr 11/25	6.06
730 General Fund	12/19/2025	Pasco County Utilities	23659132 11/25	Vermillion Sky South 11/25	5.05
730 General Fund	12/19/2025	Pasco County Utilities	23659133 11/25	Autumn Breeze Reclaim 11/25	15.15
730 General Fund	12/19/2025	Pasco County Utilities	23656471 11/25	0 Fordham Dr 11/25	13.13
730 General Fund	12/19/2025	Pasco County Utilities	23656472 11/25	0 Millhopper Ave 11/25	8.08
730 General Fund	12/19/2025	Pasco County Utilities	23656476 11/25	0 Baybrook Loop 11/25	38.38
730 General Fund	12/19/2025	Pasco County Utilities	23656479 11/25	0 Arrowgrass Dr 11/25	52.52
730 General Fund	12/19/2025	Pasco County Utilities	23656483 11/25	0 Firebush Dr 11/25	23.23
730 General Fund	12/19/2025	Pasco County Utilities	23656489 11/25	0 Pine Point Dr 11/25	19.19
730 General Fund	12/19/2025	Pasco County Utilities	23656469 11/25	0 Ancient Oaks/Beech 11/25	4.04
730 General Fund	12/19/2025	Pasco County Utilities	23658209 11/25	2910 Sports Core Circ 11/25	1,976.53
730 General Fund	12/19/2025	Pasco County Utilities	23656507 11/25	0 Fiddlers Green Loop 11/25	5.05
730 General Fund	12/01/2025	Solitude Lake Management, LLC	PSI220416	Last Installment: Erosion Repair site 18 (2of2)	11,700.00
730 General Fund	12/04/2025	Stantec Consulting Services, Inc.	2498804	Engineering Services 11/25	975.35
730 General Fund	12/23/2025	Straley Robin Vericker	27694	Legal Services 11/25	3,717.00
730 General Fund	12/19/2025	TECO Peoples Gas	211003718858 12/25	211003718858 12/25	43.07
730 General Fund	12/21/2025	Tyeshia Joy Swain	122125-730	Room Rental 12/25	260.00
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	159.00
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	578.11
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	900.94
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	114.36
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	60.44
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	230.29
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	2,457.51
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	6.66
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	153.83
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	618.87
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	553.20
730 General Fund	12/31/2025	Valley National Bank	CC123125-730 ACH	Special Events 12/25	221.63
<b>Sum for 730, 2677</b>					<b>155,601.38</b>
<b>730, 2678</b>					
730 Reserve Fund	12/02/2025	Florida Recreational Products, LLC	1087	Playground Installation-deposit	34,376.70
730 Reserve Fund	12/02/2025	Florida Recreational Products, LLC	1088	Playground Installation-deposit	34,376.70
730 Reserve Fund	12/02/2025	Florida Recreational Products, LLC	1086	Playground Installation-deposit	34,376.70
<b>Sum for 730, 2678</b>					<b>103,130.10</b>
<b>730, 2682</b>					
730 Enterprise Fund	12/31/2025	Valley National Bank	CC123125-400	Food 12/25	262.00
730 Enterprise Fund	12/31/2025	Valley National Bank	CC123125-400	Food 12/25	213.06
730 Enterprise Fund	12/31/2025	Valley National Bank	CC123125-400	Food 12/25	86.06
730 Enterprise Fund	12/31/2025	Valley National Bank	CC123125-400	Food 12/25	386.66
<b>Sum for 730, 2682</b>					<b>947.78</b>
<b>Sum for 730</b>					<b>259,679.26</b>

**Seven Oaks Community Development District**  
**Notes to Unaudited Financial Statements**  
**December 31, 2025**

**Balance Sheet**

1. Trust statement activity has been recorded through 12/31/25.
2. See EMMA (Electronic Municipal Market Access) at <https://emma.msrb.org> for Municipal Disclosures and Market Data.
3. For presentation purposes, the Reserves are shown in a separate fund titled Reserve Fund.

**Summary A/R Ledger – Payment Terms**

4. Payment terms for landowner assessments are (a) defined in the FY25-26 Assessment Resolution adopted by the Board of Supervisors, (b) pursuant to Florida Statutes, Chapter 197 for assessments levied via the county tax roll.

**Summary A/R Ledger – Subsequent Collections**

5. General Fund – Payment for Invoice AR00002785 in the amount of \$124,133.38 was received in January 2026.
6. Debt Service Fund 200 – Payment for Invoice AR00002785 in the amount of \$16,658.25 was received in January 2026.
7. Debt Service Fund 202 – Payment for Invoice AR00002785 in the amount of \$27,329.31 was received in January 2026.

## **Tab 5**



**Brian E. Corley**  
**Supervisor of Elections**  
PO Box 300  
Dade City FL 33526-0300

**1-800-851-8754**  
**PascoVotes.gov**

RECEIVED  
DEC 15 2025  
BY: .....

MEMORANDUM

TO: Pasco County Polling Places  
FROM: Brian E. Corley  
SUBJECT: Facility Use Agreement for 2026 Election Cycle

Enclosed is the *Facility Use Agreement* for the 2026 Election Cycle. Please complete and return the agreement to my office, in the enclosed postage paid envelope, no later than January 16, 2026.

Please be sure to complete the contact information page for your facility. The contacts need to be available for delivery and pick-up of voting equipment and for entry on Election Day. The facility must be opened no later than 6:00 a.m., unless your facility has provided our office with a key. **The first contact listed will be the first person we call for entry** into the facility, if needed.

Delivery of voting equipment is scheduled the week prior to Election Day. Pick-up of the equipment begins the day after the election and runs through Friday.

On the Facility Use Agreement, there is a place to check if your facility will allow our Election Workers to set up Monday night prior to Election Day. Please check **yes or no** so we can provide that information to the Election Workers.

The use of your facility for the voters in your area is greatly appreciated. As always, should you have any questions or need additional information, please contact Roger Collins or Jacob Guy at your earliest convenience.

Enclosures

BEC/RC/JG

East Pasco - Dade City (352) 521-4302  
Central Pasco - Land O' Lakes (813) 929-2788  
West Pasco - New Port Richey (727) 847-8162

## FACILITY USE AGREEMENT

**Precinct Number 087**

**This agreement is between, Brian E. Corley, Supervisor of Elections for Pasco County, Florida, and Seven Oaks Clubhouse described hereafter (Owner).**

The parties agree that the following Facility shall be used as a polling place for conducting elections on the dates specified. This includes the use of the polling room and any areas necessary to access the polling room. Also included is the use of the parking lot, sidewalks and for election workers, bathrooms, tables, chairs and kitchen facilities (when applicable).

**Name of Facility:** Seven Oaks Clubhouse  
**Address of Facility:** 2910 Sportscore Cir  
Wesley Chapel, FL 33544

**Dates of use for 2026 Election Cycle:**

Election	Election Date
Primary	August 18, 2026
General	November 3, 2026

**Monday night set-up prior to Election Day:** ☐ Yes ☐ No

1. The owner of the facility agrees to allow voting equipment to be delivered prior to election day.
2. The owner agrees to provide access to the facility no later than 6:00 a.m. on election day and until ALL voting procedures are complete on election night (hours are subject to change by state or federal mandate).
3. If the polling facility is in a gated community, Owner agrees to open the gate(s) no later than 5:30 a.m. on election morning and remain open until the election workers have completed all closing procedures and departed the facility.
4. The owner agrees that the polling room will be used only by voters and election workers during voting hours in accordance with Florida Statute 102.031 (3)(a).
5. The owner recognizes the solicitation restrictions in accordance with Florida Statute 102.031 (4)(a)(b)(c). Owner delegates to the Supervisor of Election the power to act on his/her/its behalf in enforcing the above. Further, owner agrees that he/she shall not directly or indirectly place any material prohibited under the above statute within the area described nor authorize or attempt to authorize any person to do anything which contravenes the intent of the above statutes. In accordance with 102.031 (4)(e) Florida Statutes, the owner, operator, or lessee of the property on which a polling place or an early voting site is located, or an agent or employee thereof, may not prohibit the solicitation of voters outside of the no-solicitation zone during polling hours.
6. In accordance with Florida Statute 102.031 (5), **no photography is allowed in the polling room or early voting area. This prohibition also applies to operational security cameras within the polling room. The owner shall disable all cameras. If they remain operational, they must be covered so voters, voting, and ballots are not recorded in violation of privacy. If cameras are not operational, owner must post a notice notifying voters that the camera is not in use during voting hours.**
7. The owner shall provide the facility/premises to Supervisor of Elections in a safe, clean, and usable condition and Supervisor of Elections shall leave the facility in the same condition at the end of the election.
8. Either party may cancel this agreement at any time, with or without cause, by providing a written notice of cancellation at least sixty (60) days prior to any of the above-described elections.
9. The Owner shall permit Supervisor to enter and inspect premises at all reasonable times prior to the election upon reasonable notice to the Owner.
10. This agreement shall be governed by the laws of the State of Florida as to both interpretations and performances.
11. This agreement sets forth all the promises, agreements, conditions and understandings between the Supervisor and Owner relative to use of said premises. There are no other promises, agreements, conditions or understandings, either oral or written, between the parties. No subsequent alterations, agreements, changes or additions to this Agreement will be binding on Supervisor or Owner unless in writing and signed by the parties and made part of this Agreement by direct reference.

(Continued on back)

12. Any litigation arising out of the interpretation or enforcement of this Agreement shall be in the State Courts of Florida and venue in Pasco County, Florida.
13. Neither the Supervisor nor Owner may assign its rights or obligations under this Agreement without the prior written consent of the other party.

**Indemnification Statement:** Each party shall be liable for its own actions and negligence and to the extent permitted by law. Supervisor of Elections shall indemnify, defend, and hold harmless the Owner against any actions, claims or damages arising out of negligent acts caused by any officials or employees of Supervisor of Elections in connection with this agreement and the Owner shall indemnify, defend and hold harmless Supervisor of Elections against any actions, claims or damages arising out of the Owner's negligence in connection with this agreement. The foregoing indemnification shall not constitute a waiver of sovereign immunity beyond the limits set forth in Florida Statutes, Section 768.28, nor shall the same be construed to constitute agreement by either party to indemnify the other party's negligent, willful, or intentional acts or omissions.

**Rental Payment Fee is \$300.00 per election (payments to be processed following each election)**

Billing Address: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Taxpayer supported facilities, e.g., schools, parks, libraries, etc; are not eligible to receive the rental payment fee.

**Will Owner provide a key for facility prior to Election Day?**    ☐ Yes    ☐ No

The keys speed up the process; eliminating the need for one of your contact people to open the polling place for delivery of equipment, opening for Poll workers at 6:00am election morning, closing after Poll workers have completed all tasks at the end of the day, and open for pick-up of equipment post-election. *If a key is provided by Owner to this office, it will only be used for the previously mentioned purposes, and it should be noted that these keys are kept in a lock box with minimal access by very limited staff.*

\_\_\_\_\_  
Authorized Facility Representative (Printed Name)

\_\_\_\_\_  
Authorized Facility Representative Signature

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Brian E. Corley, Pasco County Supervisor of Elections

\_\_\_\_\_  
Date Signed



# Contact Information

**Facility contact person responsible for managing election matters.**

Facility Contact: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Please provide which Power Company the facility is currently using, so we may contact them in case of a power outage (TECO, Duke, Progress Energy, etc.). \_\_\_\_\_

*If your facility provides a key and/or code to enter your building, the following does not apply.*

*If your facility does not provide a key or a code for entrance into your building, please complete the information for the Opener and Back-Up.*

**Opener:** the contact person who will be opening the facility on Election Day by 6:00 a.m. We **MUST** have a home phone number and a cell phone number for the opener.

**Emergency Back-Up:** the contact person who will open the facility if the Opener does not arrive at 6:00 a.m. We **MUST** have a home phone number and a cell phone number for the emergency back-up.

Name (Opener)	
Home Phone Number	
Cell Phone Number	
Email Address	
Name (Emergency Back-Up)	
Home Phone Number	
Cell Phone Number	
Email Address	

## **Tab 6**





**TO:** Board of Supervisors  
Seven Oaks Community Development District  
c/o Rizzetta & Company, Inc.  
3434 Colwell Avenue Suite 200  
Tampa, Florida 33614

12/19/25

**SUBJECT:** *Phase I Environmental Site Assessment Per ASTM E1527-21*

*Seven Oaks Office Building  
2940 Sports Core Circle  
Wesley Chapel, Pasco County, Florida (33544)*

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As requested, Land Assessment Services, Inc. (LAS) is submitting this proposal to provide the requested Phase I Environmental Site Assessment (ESA) for the above-referenced property comprised of the following one (1) Pasco County parcel: Parcel ID 25-26-19-0000-00100-0080.

### **Objective of Environmental Work**

The objective of our work will be to provide one (1) Phase I ESA of the above-referenced "parcel." The report will be issued in accordance with ASTM E1527-21 and the EPA's All Appropriate Inquiry (AAI) Rule.

### **Scope of Environmental Services**

Our work will consist of, but not be limited to, the following tasks:

- Task 1: Review reasonably ascertainable *records* in accordance with ASTM E1527-21, including, but not limited to, federal, state and local records; prior and current ownership information; city street directories; fire insurance maps; historical aerial photographs; applicable and/or user provided documents; and physical setting sources, of the subject site and adjoining properties, to identify, if possible, recognized environmental conditions (RECs) (including "historical" and "controlled") with respect to the subject property and/or adjoining properties.
- Task 2: Perform a *site reconnaissance* of the property in accordance with ASTM E1527-21, to identify, if possible, RECs, HRECs, or CRECs which are physically and visually observable and obvious at the ground surface. Perform an *area reconnaissance* of the adjoining sites (which are physically and visually observable and obvious at the ground surface from vantage points on the subject property or public right-of-ways) in accordance with ASTM E 1527-21, to identify, if possible, RECs, HRECs, and CRECs with the potential of materially impacting the subject site. Two (2) figures will be provided, a site vicinity map and site plan.
- Task 3: Conduct *interviews* of past and present owners, occupants, and operators; and governmental agency officials, in accordance with ASTM E1527-21, as appropriate, and if possible, about existing and past site activities.
- Task 4: Prepare a **Phase I ESA report** that will meet the ASTM E1527-21 standard, and will include conclusions listing the RECs, HRECS, and CRECS identified, if any, during the performance of the Phase I ESA.

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### **ENVIRONMENTAL / CONTAMINATION ASSESSMENTS**

### **Lump Sum Cost and ETD**

Our total lump sum cost for the Phase I ESA report is **\$2,100.00**. If possible, we intend to complete our work within your time limit.

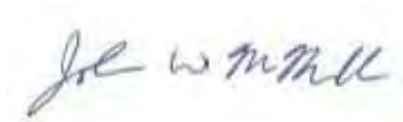
### **User Responsibilities**

Please note that in accordance with ASTM E1527-21, the client (user) has the responsibility of providing certain information, if available, to the environmental professional selected to conduct the Phase I. This information is intended to assist the environmental professional but is *not necessarily required* to qualify for one of the protections available under 1527-21. The information includes, but is not limited to: (a) the reason why the Phase I is required, (b) the type of property and type of property transaction, for example, sale, purchase, exchange, etc., (c) the complete and correct address for the property (a map or other documentation showing property location and boundaries is helpful), (d) the scope of services desired for the Phase I (including whether any parties to the property transaction may have a required standard scope of services on whether any considerations beyond the requirements of Practice E1527 are to be considered), (e) identification of all parties who will rely on the Phase I report, (f) identification of the site contact and how the contact can be reached, (g) any special terms and conditions which must be agreed upon by the environmental professional, (h) **chain-of-title report (if you desire LAS to review previous owners by this method, which is preferred but not required. LAS can order this report if instructed at an additional cost to the client)**, and (i) any other knowledge or experience with the property that may be pertinent to the environmental professional (for example, copies of any available prior environmental site assessment reports, documents, correspondence, etc., concerning the property and its environmental condition).

### **Closing**

Please indicate your written acceptance of the above-referenced scope of services and limitations, user responsibilities, and the attached Standard General Conditions by signing in the space provided below and returning one (1) original to us. Your signature will also constitute your written authorization for LAS to access the subject property to perform the assessment described herein.

Sincerely,  
**LAND ASSESSMENT SERVICES, INC.**



John W. McMullen, PG  
Project Manager



Richard C. Reynolds  
President

LAS Proposals/pro\_Seven Oaks

Attachments: Questionnaire,

Standard General Conditions

cc: Michael T. Gagne

**Authorized by:** SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT

**Signature:** Andy Mendenhall  
Andy Mendenhall (Dec 22, 2025 16:38:48 EST)

**Name:** Andrew Mendenhall

**Title:** Chairman

**Date:** December 22, 2025

## USER QUESTIONNAIRE ASTM E 1527 – 21

Introduction--In order to qualify for one of the *Landowner Liability Protections (LLPs)* offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the “*Brownfields Amendments*”), the *user* must provide the following information (if available) to the *environmental professional*. Failure to provide this information could result in a determination that “*all appropriate inquiry*” is not complete.

(1.) Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25). Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

No

(2.) Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26). Are you aware of any AULs, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

No

(3.) Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.28). As the *user* of this *ESA* do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

No

(4.) Relationship of the purchase price to the fair market value of the *property* if it were not contaminated (40 CFR 312.29). Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*? If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

Yes, an appraisal was performed on the building and land.

(5.) Commonly known or *reasonably ascertainable* information about the *property* (40 CFR 312.30). Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*:

### ENVIRONMENTAL / CONTAMINATION ASSESSMENTS

(a.) Do you know the past uses of the *property*?

**Office**

---

(b.) Do you know of specific chemicals that are present or once were present at the *property*?

**No**

---

(c.) Do you know of spills or other chemical releases that have taken place at the *property*?

**No**

---

(d.) Do you know of any environmental cleanups that have taken place at the *property*?

**No**

---

(6.) The degree of obviousness of the presence of likely presence of contamination at the *property*, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31). As the *user* of this *ESA*, based on your knowledge and experience related to the *property* are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

**None**

---

## STANDARD GENERAL CONDITIONS

(1) **Consultant's Scope of Services and Additional Services.** The Consultant's undertaking to perform professional services extends only to the services specifically described in this Agreement. However, if requested by the Client and agreed to by the Consultant, the Consultant will perform Additional Services, which shall be governed by these provisions. Unless otherwise agreed to in writing, the Client shall pay the Consultant for any Additional Services an amount based upon the Consultant's then-current hourly rates plus an amount to cover certain direct expenses including telecommunications, in-house reproduction, postage, supplies, project related computer time, and local mileage. Other direct expenses will be billed at 1.15 times cost.

(2) **Client's Responsibilities.** In addition to other responsibilities described herein or imposed by law, the Client shall:

- (a) Designate in writing a person to act as its representative with respect to this Agreement, such person having complete authority to transmit instructions, receive information, and make or interpret the Client's decisions.
- (b) Provide all information and criteria as to the Client's requirements, objectives, and expectations for the project including all numerical criteria that are to be met and all standards of development, design, or construction.
- (c) Provide to the Consultant all previous studies, plans, or other documents pertaining to the project and all new data reasonably necessary in the Consultant's opinion, such as site survey and engineering data, environmental impact assessments or statements, upon all of which the Consultant may rely.
- (d) Arrange for access to the site and other private or public property as required for the Consultant to provide its services.
- (e) Review all documents or oral reports presented by the Consultant and render in writing decisions pertaining thereto within a reasonable time so as not to delay the services of the Consultant.
- (f) Furnish approvals and permits from governmental authorities having jurisdiction over the project and approvals and consents from other parties as may be necessary for completion of the Consultant's services.
- (g) Cause to be provided such independent accounting, legal, insurance, cost estimating and overall feasibility services as the Client may require.
- (h) Give prompt written notice to the Consultant whenever the Client becomes aware of any development that affects the scope, timing, or payment of the Consultant's services or any defect or noncompliance in any aspect of the project.
- (i) Bear all costs incidental to the responsibilities of the Client.

(3) **Period of Services.** Unless otherwise stated herein, the Consultant will begin work timely after receipt of a properly executed copy of this Agreement and any required retainer amount. This Agreement is made in anticipation of conditions permitting continuous and orderly progress through completion of the services. Times for performance shall be extended as necessary for delays or suspensions due to circumstances that the Consultant does not control. If such delay or suspension extends for more than six months (cumulatively), Consultant's compensation shall be renegotiated.

(4) **Method of Payment.** Compensation shall be paid to the Consultant in accordance with the following provisions:

- (a) Invoices will be submitted periodically for services performed and expenses incurred. Payment of each invoice will be due within 30 days of receipt. The Client shall also pay any applicable sales tax. All retainers will be held by the Consultant for the duration of the project and applied against the final invoice. Interest will be added to accounts not paid within 30 days at the maximum rate allowed by law. If the Client fails to make any payment due to the Consultant under this or any other agreement within 60 days after the Consultant's transmittal of its invoice, the Consultant may, after giving notice to the Client, suspend services and withhold deliverables until all amounts due are paid in full and may commence proceedings, including filing liens, to secure its right to payment under this Agreement.

(b) If the Client relies on payment or proceeds from a third party to pay Consultant and Client does not pay Consultant's invoice within 90 days of receipt, Consultant may communicate directly with such third party to secure payment

(c) If the Client objects to an invoice, it must advise the Consultant in writing giving its reasons within 14 days of receipt of the invoice or the Client's objections will be waived, and the invoice shall conclusively be deemed due and owing. If the Client objects to only a portion of the invoice, payment for all other portions remains due within 30 days of receipt.

(d) The Client agrees that the payment to the Consultant is not subject to any contingency or condition. The Consultant may negotiate payment of any check tendered by the Client, even if the words "in full satisfaction" or words intended to have similar effect appear on the check without such negotiation being an accord and satisfaction of any disputed debt and without prejudicing any right of the Consultant to collect additional amounts from the Client.

(5) **Use of Documents.** All documents, including but not limited to drawings, specifications, reports, and data or programs stored electronically, prepared by the Consultant are related exclusively to the services described in this Agreement, and may be used only if the Client has satisfied all of its obligations under this Agreement. They are not

intended or represented to be suitable for use, partial use or reuse by the Client or others on extensions of this project or on any other project. Any modifications made by the Client to any of the Consultant's documents, or any use, partial use or reuse of the documents without written authorization or adaptation by the Consultant will be at the Client's sole risk and without liability to the Consultant, and the Client shall indemnify, defend and hold the Consultant harmless from all claims, damages, losses and expenses, including but not limited to attorneys' fees, resulting therefrom. The Consultant's electronic files and source code developed in the development of application code remain the property of the Consultant and shall be provided to the Client only if expressly provided for in this Agreement. Any electronic files not containing an electronic seal are provided only for the convenience of the Client, and use of them is at the Client's sole risk. In the case of any defects in the electronic files or any discrepancies between them and the hardcopy of the documents prepared by the Consultant, the hardcopy shall govern. Because data stored in electronic media format can deteriorate or be modified without the Consultant's authorization, the Client has 60 days to perform acceptance tests, after which it shall be deemed to have accepted the data.

(6) **Opinions of Cost.** Because the Consultant does not control the cost of labor, materials, equipment, or services furnished by others, methods of determining prices, or competitive bidding or market conditions, any opinions rendered as to costs, including but not limited to opinions as to the costs of construction and materials, shall be made on the basis of its experience and represent its judgment as an experienced and qualified professional, familiar with the industry. The Consultant cannot and does not guarantee that proposals, bids or actual costs will not vary from its opinions of cost. If the Client wishes greater assurance as to the amount of any cost, it shall employ an independent cost estimator. Consultant's services required to bring costs within any limitation established by the Client will be paid for as Additional Services.

(7) **Termination.** The obligation to provide further services under this Agreement may be terminated by either party upon seven days' written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party, or upon thirty days' written notice for the convenience of the terminating party. If any change occurs in the ownership of the Client, the Consultant shall have the right to immediately terminate this Agreement. In the event of any termination, the Consultant shall be paid for all services rendered and expenses incurred to the effective date of termination, and other reasonable expenses incurred by the Consultant as a result of such termination. If the Consultant's compensation is a fixed fee, the amount payable for services will be a proportional amount of the total fee based on the ratio of the amount of the services performed, as reasonably determined by the Consultant, to the total amount of services which were to have been performed.

(8) **Insurance.** The Consultant carries Workers' Compensation (\$500,000), automobile (\$500,000), general liability (\$1,000,000), umbrella (\$5,000,000) and professional liability (\$1,000,000) insurance limits per claim. If the Client directs the Consultant to obtain increased insurance coverage, the Consultant will take out such additional insurance, if obtainable, at the Client's expense.

(9) **Standard of Care.** The standard of care applicable to Consultant's services will be the degree of care and skill ordinarily exercised by consultants performing the same or similar services in the same locality at the time the services are provided. No warranty, express or implied, is made or intended by the Consultant's undertaking herein or its performance of services, and it is agreed that the Consultant is not a fiduciary with respect to the Client.

(10) **LIMITATION OF LIABILITY.** In recognition of the relative risks and benefits of the Project to the Client and the Consultant, the risks have been allocated such that the Client agrees, to the fullest extent of the law, and notwithstanding any other provisions of this Agreement or the existence of applicable insurance coverage, that the total liability, in the aggregate, of the Consultant and the Consultant's officers, directors, employees, agents, and subconsultants to the Client or to anyone claiming by, through or under the Client, for any and all claims, losses, costs or damages whatsoever arising out of, resulting from or in any way related to the services under this Agreement from any cause or causes, including but not limited to, the negligence, professional errors or omissions, strict liability or breach of contract or any warranty, express or implied, of the Consultant or the Consultant's officers, directors, employees, agents, and subconsultants, shall not exceed twice the total compensation received by the Consultant under this Agreement or \$50,000, whichever is greater. Higher limits of liability may be negotiated for an additional fee. Under no circumstances shall the Consultant be liable for extra costs or other consequences due to changed conditions, or for costs related to the failure of contractors to perform work in accordance with the plans and specifications. This Section 10 is intended solely to limit the remedies available to the Client or those claiming by or through the Client, and nothing in this Section 10 shall require the Client to indemnify the Consultant. THE CLIENT AGREES THAT PURSUANT TO FLORIDA STATUTES SECTION 558.0035 (2013) AN INDIVIDUAL EMPLOYEE OF OR AGENT FOR CONSULTANT MAY NOT BE HELD INDIVIDUALLY LIABLE FOR NEGLIGENCE.

(11) **Mutual Waiver of Consequential Damages.** In no event shall either party be liable to the other for any consequential, incidental, punitive, or indirect damages including but not limited to loss of income or loss of profits.



(12) **Certifications.** The Consultant shall not be required to execute certifications or third-party reliance letters that are inaccurate, that relate to facts of which the Consultant does not have actual knowledge, or that would cause the Consultant to violate applicable rules of professional responsibility.

(13) **Dispute Resolution.** All claims by the Client arising out of this Agreement or its breach shall be submitted first to mediation in accordance with the Construction Industry Mediation Procedures of the American Arbitration Association as a condition precedent to litigation.

(14) **Hazardous Substances and Conditions.** In no event shall Consultant be a custodian, transporter, handler, arranger, contractor, or remediator with respect to hazardous substances, unless such activities are performed with the full written authorization of the Client, and ownership of such hazardous substances remains with Client until such hazardous substances are accepted in writing for transportation and disposal by a licensed waste disposal firm. In all other cases, Consultant's services will be limited to professional analysis, recommendations, and reporting, including, when agreed to, plans and specifications for isolation, removal, or remediation. The Consultant shall notify the Client of hazardous substances or conditions not contemplated in the scope of services of which the Consultant becomes aware. Upon such notice by the Consultant, the Consultant may stop affected portions of its services until the hazardous substance or condition is eliminated.

(15) **No Third-Party Beneficiaries; Assignment and Subcontracting.** This Agreement gives no rights or benefits to anyone other than the Client and the Consultant, and all duties and responsibilities undertaken pursuant to this Agreement will be for the sole benefit of the Client and the Consultant. The Client shall not assign or transfer any rights under or interest in this Agreement, or any claim arising out of the performance of services by Consultant, without the written consent of the Consultant. The Consultant reserves the right to augment its staff with subconsultants as it deems appropriate due to project logistics, schedules, or market conditions. If the Consultant exercises this right, the Consultant will maintain the agreed-upon billing rates for services identified in the contract, regardless of whether the services are provided by in-house employees, contract employees, or independent subconsultants.

(16) **Confidentiality.** The Client consents to the use and dissemination by the Consultant of photographs of the project and to the use by the Consultant of facts, data and information obtained by the Consultant in the performance of its services. If, however, any facts, data or information are specifically identified in writing by the Client as confidential, the Consultant shall use reasonable care to maintain the confidentiality of that material.

(17) **Miscellaneous Provisions.** This Agreement is to be governed by the law of the State of Florida. This Agreement contains the entire and fully integrated agreement between the parties and supersedes all prior and contemporaneous negotiations, representations, agreements, or understandings, whether written or oral. Except as provided in Section 1, this Agreement can be supplemented or amended only by a written document executed by both parties. Provided, however, that any conflicting or additional terms on any purchase order issued by the Client shall be void and are hereby expressly rejected by the Consultant. Any provision in this Agreement that is unenforceable shall be ineffective to the extent of such unenforceability without invalidating the remaining provisions. The non-enforcement of any provision by either party shall not constitute a waiver of that provision.






# LAS - Environmental Assessment

Final Audit Report

2025-12-22

Created:	2025-12-22
By:	Scott Brizendine (sbrizendine@rizzetta.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA7wlbo_YCHNikR_CTjuljQjnt_-sBysHK

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## **Tab 7**



January 7, 2026

Seven Oaks CDD  
c/o Stephanie M. Cua, Esq.  
5844 Old Pasco Rd STE 100,  
Wesley Chapel, FL 33544

RE: ADA Inspection and Building Inspection for the  
Seven Oaks CDD office building  
RGA Design Forensics Assignment Number 226-01W

Dear Ms. Hopkinson,

We are pleased to offer this proposal to provide ADA inspection and building inspection services for the Seven Oaks CDD office building, located at 2940 Sports Core Circle, Wesley Chapel, FL 33544. The scope of work is as follows:

- ADA inspection and assessment report for the building
- Building inspection and report for the building

Our services will be provided at a flat rate of \$3,000.00 for the ADA inspection and report and \$3,000.00 for the building inspection and report for a total of \$6,000.00, payable at the rate of \$3,000.00 upon the execution of this agreement and the balance of \$3,000.00 upon the issuance of the reports. The flat fee will include all reimbursable expenses through the inspections and reports. Additional work if required will be charged at the rates listed below.

Billable Rates:

- |  |           |
|--|-----------|
| • Principal/Expert                               | \$375/hr. |
| • Principal/Expert court or deposition testimony | \$475/hr. |
| • Architect Forensic Expert                      | \$250/hr. |
| • Engineer Forensic Expert                       | \$250/hr. |
| • Legal Forensic Expert                          | \$225/hr. |
| • Paralegal                                      | \$175/hr. |
| • Technical Assistant                            | \$175/hr. |
| • Clerical                                       | \$100/hr. |

Reimbursable Expenses:

- Travel Expenses, long distance charges, fax charges and email charges
- Document reproduction, copying, plotting and blue printing
- Photographic expense

- Delivery and courier expense
- Fees charged by governmental agencies
- Approved overtime work rates
- Charges for additional insurance requested by client

### **TERMS AND METHOD OF PAYMENT**

An initial retainer of \$3,000.00 shall be paid upon notice to proceed. The balance of \$3,000.00 is due upon issuance of the reports. Remittance is due net ten (10) days. Payment due to the Architect, if unpaid under this Agreement, shall bear interest at the rate of 12% per annum (1.0% per month) commencing thirty (30) days after payment is due.

If additional services are to be utilized, a mutually agreed upon additional RETAINER AMOUNT may be requested. Invoicing for additional services shall be on an hourly basis payable monthly. Interest shall accrue and is payable at the rate of 12% per annum (1.0% per month) commencing thirty (30) days after payment is due.

### **AGREEMENT**

This Agreement constitutes a contract between the undersigned parties. The work will commence upon execution of this agreement and receipt of the retainer amount agreed upon. The undersigned acknowledges full understanding of the services to be performed by RGA Design Forensics LLC.

Andrew P Mendenhall  
Andrew P Mendenhall (Jan 12, 2026 11:07:03 EST)

\_\_\_\_\_  
 Authorized Representative  
 Seven Oaks CDD

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

\_\_\_\_\_  
 William Henry  
 RGA Design Forensics LLC

Date \_\_\_\_ / \_\_\_\_ / \_\_\_\_







# November 8, 2007

Final Audit Report

2026-01-12

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-  Signer Andy Mendenhall (amendenhall@sevenoakscdd.com) entered name at signing as Andrew P Mendenhall  
2026-01-12 - 4:07:01 PM GMT
-  Document e-signed by Andrew P Mendenhall (amendenhall@sevenoakscdd.com)  
Signature Date: 2026-01-12 - 4:07:03 PM GMT - Time Source: server
-  Agreement completed.  
2026-01-12 - 4:07:03 PM GMT

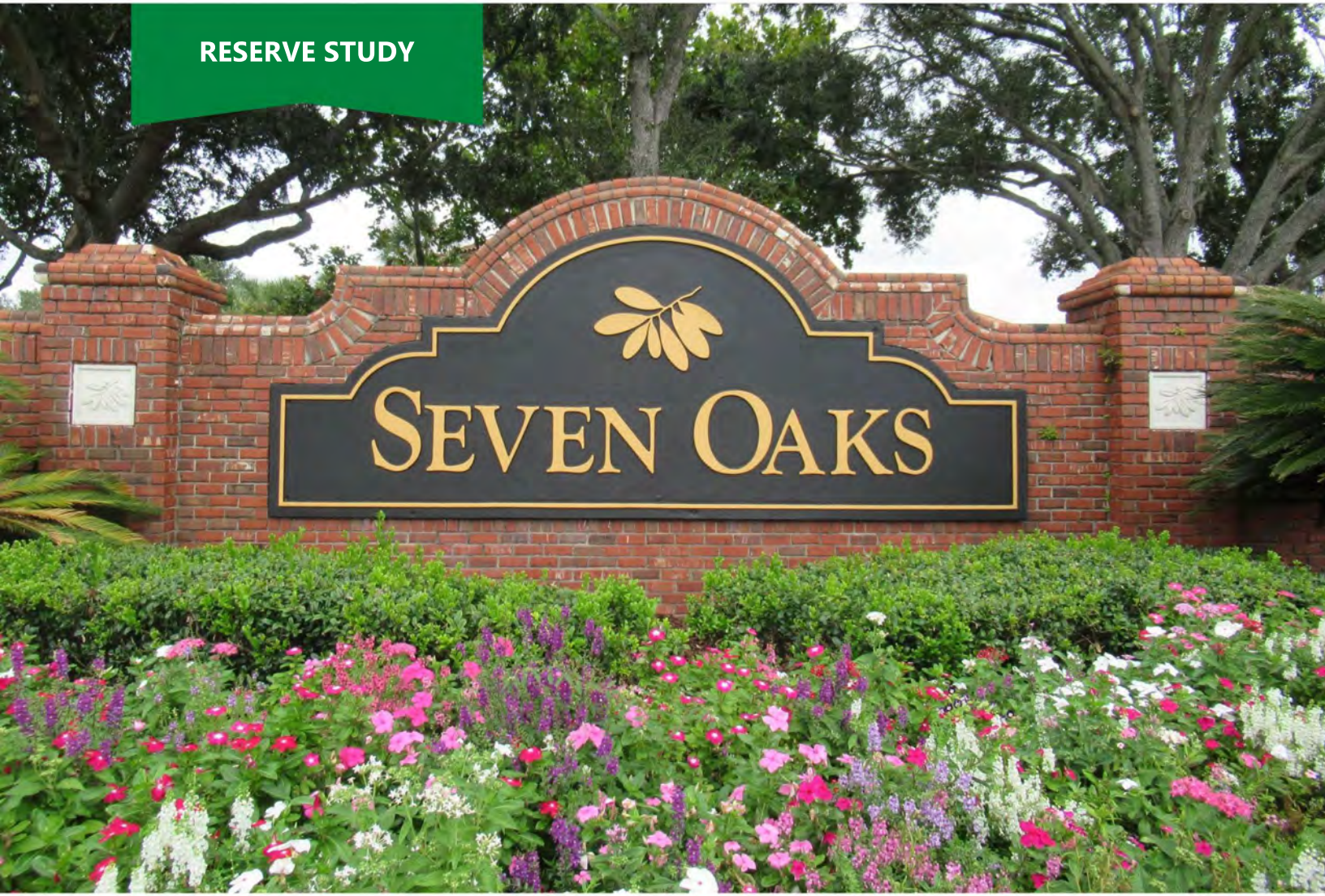
## **Tab 8**



# Seven Oaks Community Development District

Inspected on: October 2, 2025 • Revised on: January 19, 2026  
Wesley Chapel, FL

RESERVE STUDY



Seven Oaks Community Development District  
Wesley Chapel, Florida

Dear Board of Supervisors of Seven Oaks Community Development District:

At the direction of the Board that recognizes the need for proper reserve planning, we have conducted a *Reserve Study* of Seven Oaks Community Development District in Wesley Chapel, Florida and submit our findings in this report. The effective date of this study is the date of our visual, noninvasive inspection, October 2, 2025.

This *Reserve Study* exceeds the Association of Professional Reserve Analysts (APRA) standards fulfilling the requirements of a “Level II Reserve Study Update.”

An ongoing review by the Board and an Update of this Reserve Study are necessary to ensure an equitable funding plan since a Reserve Study is a snapshot in time. We recommend the Board budget for an Update to this Reserve Study in two- to three-years. We look forward to continuing to help Seven Oaks Community Development District plan for a successful future.

As part of our long-term thinking and everyday commitment to our clients, we are available to answer any questions you may have regarding this study.

Respectfully submitted on January 19, 2026 by

*Reserve Advisors, LLC*

Visual Inspection and Report by: Jennifer L. Berry, RS<sup>1</sup>  
Review by: Jordan M. Rosales, RS, Regional Engineering Manager  
Alan M. Ebert, RS, PRA<sup>2</sup>, Director of Quality Assurance



<sup>1</sup> RS (Reserve Specialist) is the reserve provider professional designation of the Community Associations Institute (CAI) representing America's more than 300,000 condominium, cooperative and homeowners associations.

<sup>2</sup> PRA (Professional Reserve Analyst) is the professional designation of the Association of Professional Reserve Analysts. Learn more about APRA at <http://www.apra-usa.com>.





NEW TO RESERVE STUDIES?



ACCESS OUR  
QUICK START GUIDE



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# 1. RESERVE STUDY EXECUTIVE SUMMARY

**Client:** Seven Oaks Community Development District (Seven Oaks)

**Location:** Wesley Chapel, Florida

**Reference:** 223547

**Property Basics:** Seven Oaks Community Development District is a planned unit development which is responsible for the common elements shared by 2,755 units. The community was built from 2002 to 2013.

**Reserve Components Identified:** 111 Reserve Components.

**Inspection Date:** October 2, 2025. We conducted the original inspection on March 22, 2023.

**Funding Goal:** The Funding Goal of this Reserve Study is to maintain reserves above an adequate, not excessive threshold during one or more years of significant expenditures. Our recommended Funding Plan recognizes these threshold funding years in 2051 and 2053 due to the subsequent repaving of the asphalt pavement.

**Methodology:** We use the Cash Flow Method to compute the Reserve Funding Plan. This method offsets future variable Reserve Expenditures with existing and future stable levels of reserve funding. Our application of this method also considers:

- Current and future local costs of replacement
- 2.7% anticipated annual rate of return on invested reserves
- 3.3% future Inflation Rate for estimating Future Replacement Costs

**Sources for Local Costs of Replacement:** Our proprietary database, historical costs and published sources, i.e., R.S. Means, Incorporated.

## **Unaudited Cash Status of Reserve Fund:**

- \$3,669,718 as of October 1, 2025 (The Fiscal Year (FY 2026) for Seven Oaks begins October 1, 2025 and ends September 30, 2026. For brevity, we refer to the Fiscal Year by its ending year, i.e. Fiscal Year 2025-2026 is FY 2026 or simply 2026)
- 2026 budgeted Reserve Contributions of \$1,247,600

**Project Prioritization:** We note anticipated Reserve Expenditures for the next 30 years in the **Reserve Expenditures** tables and include a **Five-Year Outlook** table following the **Reserve Funding Plan** in Section 3. We recommend the District prioritize the following projects in the next five years based on the conditions identified:

- Repaving and repairs of the asphalt pavement at Ancient Oaks Boulevard
- Repaving of the asphalt pavement at Brookforest and Springwood communities
- Partial replacements of the concrete curbs, gutters and sidewalks
- Replacement of the remaining playground equipment
- Phased replacements of the masonry pavers

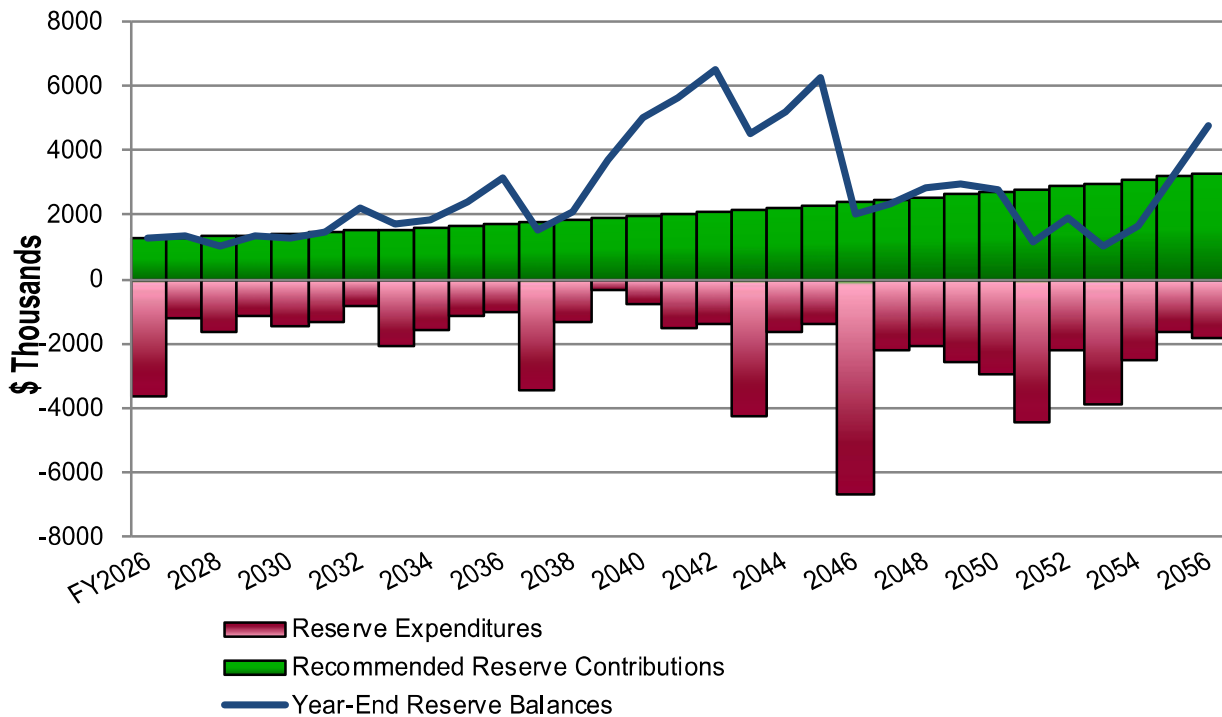
**Recommended Reserve Funding:** We recommend the following in order to achieve a stable and equitable Cash Flow Methodology Funding Plan:

- Increase Reserve Contributions to \$1,280,400 in 2027
- Inflationary increases thereafter through 2056, the limit of this study's Cash Flow Analysis
- 2027 Reserve Contribution of \$1,280,400 is equivalent to an average annual contribution of \$464.75 per owner.



## Seven Oaks Recommended Reserve Funding Table and Graph

Year	Reserve Contributions (\$)	Reserve Balances (\$)	Year	Reserve Contributions (\$)	Reserve Balances (\$)	Year	Reserve Contributions (\$)	Reserve Balances (\$)
2027	1,280,400	1,361,557	2037	1,771,500	1,546,270	2047	2,451,100	2,312,943
2028	1,322,700	1,048,856	2038	1,830,000	2,090,198	2048	2,532,000	2,814,933
2029	1,366,300	1,325,200	2039	1,890,400	3,695,002	2049	2,615,600	2,933,157
2030	1,411,400	1,285,001	2040	1,952,800	4,995,789	2050	2,701,900	2,758,496
2031	1,458,000	1,453,626	2041	2,017,200	5,610,637	2051	2,791,100	1,172,661
2032	1,506,100	2,197,420	2042	2,083,800	6,482,097	2052	2,883,200	1,888,500
2033	1,555,800	1,729,070	2043	2,152,600	4,519,256	2053	2,978,300	1,048,862
2034	1,607,100	1,819,391	2044	2,223,600	5,213,797	2054	3,076,600	1,632,309
2035	1,660,100	2,417,453	2045	2,297,000	6,250,603	2055	3,178,100	3,220,584
2036	1,714,900	3,152,617	2046	2,372,800	2,031,085	2056	3,283,000	4,763,348





## 2. RESERVE STUDY REPORT

At the direction of the Board that recognizes the need for proper reserve planning, we have conducted a *Reserve Study* of

**Seven Oaks Community Development District**

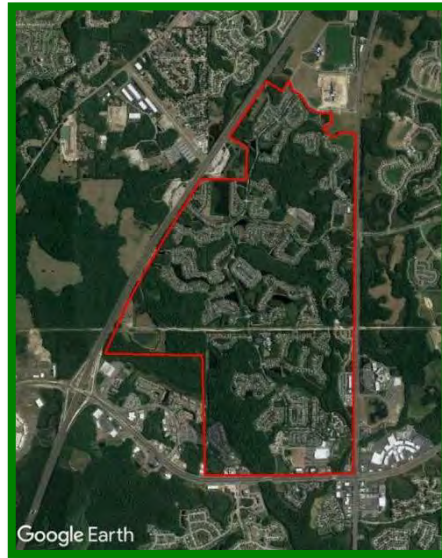
**Wesley Chapel, Florida**

and submit our findings in this report. The effective date of this study is the date of our visual, noninvasive inspection, October 2, 2025. We conducted the original inspection on March 22, 2023.

We present our findings and recommendations in the following report sections and spreadsheets:

- **Identification of Property** - Segregates all property into several areas of responsibility for repair or replacement
- **Reserve Expenditures** - Identifies reserve components and related quantities, useful lives, remaining useful lives and future reserve expenditures during the next 30 years
- **Reserve Funding Plan** - Presents the recommended Reserve Contributions and year-end Reserve Balances for the next 30 years
- **Five-Year Outlook** - Identifies reserve components and anticipated reserve expenditures during the first five years
- **Reserve Component Detail** - Describes the reserve components, includes photographic documentation of the condition of various property elements, describes our recommendations for repairs or replacement, and includes detailed solutions and procedures for replacements for the benefit of current and future board members
- **Methodology** - Lists the national standards, methods and procedures used to develop the Reserve Study
- **Definitions** - Contains definitions of terms used in the Reserve Study, consistent with national standards
- **Professional Service Conditions** - Describes Assumptions and Professional Service Conditions
- **Credentials and Resources**

## IDENTIFICATION OF PROPERTY



Our investigation includes Reserve Components or property elements as set forth in your Declaration or which were identified as part of your request for proposed services. The Expenditure tables in Section 3 list the elements contained in this study. Our analysis begins by segregating the property elements into several areas of responsibility for repair and replacement.

Our process of identification helps assure that future boards and the management team understand whether reserves, the operating budget or Owners fund certain replacements and assists in preparation of the annual budget. We derive these segregated classes of property from our review of the information provided by the District and through conversations with Management. These classes of property include:

- Reserve Components
- Long-Lived Property Elements
- Operating Budget Funded Repairs and Replacements
- Property Maintained by Owners
- Property Maintained by Others

We advise the Board to conduct an annual review of these classes of property to confirm its policy concerning the manner of funding, i.e., from reserves or the operating budget. Reserve Components are defined by CAI as property elements with:

- Seven Oaks responsibility
- Limited useful life expectancies
- Predictable remaining useful life expectancies
- Replacement cost above a minimum threshold

The following tables depict the items excluded from the Reserve Expenditure plan:

## **Excluded Components**

for

**Seven Oaks**

**Community Development District**

Wesley Chapel, Florida

### **Operating Budget Components**

Repairs normally funded through the Operating Budget and Expenditures less than \$10,000 (These relatively minor expenditures have a limited effect on the recommended Reserve Contributions.)

The operating budget provides money for the repair and replacement of certain Reserve Components. The District may develop independent criteria for use of operating and reserve funds.

- Arbors, Paint Finishes and Interim Repairs, Common<sup>1</sup>
- Baseball Backstop, Clubhouse
- Basketball and Tennis Courts, Electrical Panels, Light Poles and Fixtures, Clubhouse
- Basketball Courts, Backboard and Hoops, Clubhouse and Communities Playgrounds
- Basketball Courts, Color Coats, Clubhouse and Community Playgrounds
- Catch Basins, Landscape
- Clock Tower, Paint Finishes, Interim
- Fence, Chain Link, Adjacent to Bruce B. Downs<sup>1</sup>
- Fence, Chain Link, Playground, Grassglen Community
- Fences, Vinyl, Clubhouse Locker Rooms
- Fences, Vinyl, Electrical Easement, Ancient Oaks Blvd
- Fences, Windscreens, Tennis
- Kitchen Equipment, Café and Gathering Room, Clubhouse<sup>1</sup>
- Landscape
- Light Fixtures, Exterior and Interior, Clubhouse
- Paint Finishes, Interior, Interim, Clubhouse
- Paint Finishes, Touch Up
- Paint Finishes, Water Slide Structure and Stair Tower<sup>1</sup>
- Playgrounds, Common, Mulch Replenishment
- Pools, Geothermal Well Pumps
- Pools, Mechanical Equipment, Excluding Geothermal Heaters<sup>1</sup>
- Signage, Main Roads, Lighted Pedestrian Crossings
- Soccer Field and Goals, Clubhouse
- Tennis Courts, Maintenance Equipment, Clubhouse
- Trash Dumpster Corral and Gates, Clubhouse
- Volleyball Court, Clubhouse

<sup>1</sup> Per District Management



## **Excluded Components**

for  
**Seven Oaks**  
**Community Development District**  
Wesley Chapel, Florida

<b>Long-Lived Components</b>		
These elements may not have predictable Remaining Useful Lives or their replacement may occur beyond the scope of this study. The operating budget should fund infrequent repairs. Funding untimely or unexpected replacements from reserves will necessitate increases to Reserve Contributions. Periodic updates of this Reserve Study will help determine the merits of adjusting the Reserve Funding Plan.	<b>Useful Life</b>	<b>Estimated Cost</b>
• Electrical Systems, Common	to 70+	N/A
• Foundations, Common	Indeterminate	N/A
• Inlet/Outlet Structures, Concrete, Storm Water Management System	to 85+	N/A
• Irrigation System, Well Casings, Common	Indeterminate	N/A
• Pipes, Interior Building, Domestic Water, Sanitary Waste, Vent, Sprinkler, ClubhouseSprinkler, Clubhouse	to 80+	N/A
• Pipes, Subsurface Utilities, Laterals, Domestic Water and Sanitary Sewer, Clubhouse'	to 85+	N/A
• Pool Structures, Clubhouse	to 60	N/A
• Pools, Geothermal Heater, Well Casings	Indeterminate	N/A
• Structural Frames, Common	Indeterminate	N/A

<b>Owners Responsibility Components</b>
Certain items have been designated as the responsibility of the Owners to repair or replace at their cost, including items billed back.
• Driveways and Aprons
• Homes and Lots
• Mailboxes
• Pipes, Subsurface Utilities, Laterals, Domestic Water and Sanitary Sewer

## **Excluded Components**

for  
**Seven Oaks**  
**Community Development District**  
Wesley Chapel, Florida

### **Others Responsibility Components**

Certain items have been designated as the responsibility of Others to repair or replace.

- Building, Commercial, Clubhouse<sup>1</sup>
- Fire Hydrants<sup>2</sup>
- Lift Stations<sup>2</sup>
- Light Poles and Fixtures, Site<sup>3</sup>
- Parking Lot, Pool, Willow Creek Community<sup>4</sup>
- Pipes, Subsurface Utilities, Mains, Domestic Water, Sanitary Sewer, and Fire Protection<sup>2</sup>
- Signage and Signage Monuments, Commercial<sup>5</sup>
- Signage Monuments, Silverleaf Apartments<sup>6</sup>
- Streets and Parking, Commercial<sup>5</sup>
- Streets and Parking, Lakeside Townhomes<sup>7</sup>
- Streets, Eagleston Boulevard<sup>2</sup>
- Streets, Traffic Lights<sup>2</sup>

<sup>1</sup> Crown Development

<sup>2</sup> Municipality

<sup>3</sup> Leased

<sup>4</sup> Willow Creek at Seven Oaks Homeowners Association

<sup>5</sup> Excluding District Responsibility

<sup>6</sup> Silverleaf Apartments

<sup>7</sup> Lakeside at Seven Oaks Homeowners Association



### 3. RESERVE EXPENDITURES and FUNDING PLAN

The tables following this introduction present:

#### Reserve Expenditures

- Line item numbers
- Total quantities
- Quantities replaced per phase (in a single year)
- Reserve component inventory
- Estimated first year of event (i.e., replacement, application, etc.)
- Life analysis showing
  - useful life
  - remaining useful life
- 2026 local cost of replacement
  - Per unit
  - Per phase
  - Replacement of total quantity
- Percentage of future expenditures anticipated during the next 30 years
- Schedule of estimated future costs for each reserve component including inflation

#### Reserve Funding Plan

- Reserves at the beginning of each year
- Total recommended reserve contributions
- Estimated interest earned from invested reserves
- Anticipated expenditures by year
- Anticipated reserves at year end

#### Five-Year Outlook

- Line item numbers
- Reserve component inventory of only the expenditures anticipated to occur within the first five years
- Schedule of estimated future costs for each reserve component anticipated to occur within the first five years

The purpose of a Reserve Study is to provide an opinion of reasonable annual Reserve Contributions. Prediction of exact timing and costs of minor Reserve Expenditures typically will not significantly affect the 30-year cash flow analysis. Adjustments to the times and/or costs of expenditures may not always result in an adjustment in the recommended Reserve Contributions.

Financial statements prepared by your District, by you or others might rely in part on information contained in this section. For your convenience, we have provided an electronic data file containing the tables of **Reserve Expenditures** and **Reserve Funding Plan**.

RESERVE EXPENDITURES

Sevon Oaks  
Community Development District  
Wesley Chapel, Florida

- Explanatory Notes:**  
1) **3.3%** is the estimated Inflation Rate for estimating Future Replacement Costs.  
2) FY2026 is Fiscal Year beginning October 1, 2025 and ending September 30, 2026.  
3) 2027+ indicates a component which is considered long-lived

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis, Years		Costs, \$ Per Phase (2026)	Percentage of Future Expenditures	RUL = 0 FY2026														
						Useful	Remaining			Unit (2026)	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040
Clubhouse Exterior Building Elements																								
1,050	1,350	1,350	Square Feet	Abors, Wood	2028	to 25	2	38,00	51,300	0.3%			54,742											
1,280	100	100	Squares	Roof Assemblies, Asphalt Shingles	2032	12 to 18	6	650,00	65,000	0.3%							78,980							
1,880	7,600	7,600	Square Feet	Walls, Stucco, Paint Finishes and Capital Repairs, Clubhouse	2032	5 to 7	6	3,50	26,600	0.3%							32,321						40,568	
1,980	1,600	1,600	Square Feet	Windows and Doors	2043	to 40	17	150,00	240,000	0.6%														
Clubhouse Interior Building Elements																								
2,020	1	1	Allowance	Café, Renovation, Complete	2034	to 25	8	130,200.00	130,200	0.3%							168,816							
2,025	1	1	Allowance	Café, Renovation, Partial	2046	10 to 15	20	51,200.00	51,200	0.1%														
2,155	1	1	Allowance	Exercise Equipment, Cardiovascular	2030	to 5	4	36,300.00	36,300	0.6%						41,334								
2,165	1	1	Allowance	Exercise Equipment, Strength Training	2034	to 15	8	21,800.00	21,800	0.1%							28,266						57,189	
2,180	1	1	Allowance	Exercise Room, Renovation	2029	to 10	3	9,500.00	9,500	0.1%					10,472								14,489	
2,640	1	1	Allowance	Gathering Room, Renovation, Complete (Incl. Rounds and Hallway)	2027	to 25	1	149,400.00	149,400	0.7%		154,330												
2,645	1	1	Allowance	Gathering Room, Renovation, Partial (Incl. Rounds and Hallway)	2039	10 to 15	13	39,500.00	39,500	0.1%													60,242	
2,680	1	1	Allowance	Locker Rooms, Renovation	2041	20 to 25	15	123,000.00	123,000	0.3%														200,175
2,775	1	1	Allowance	Movie Theater, Equipment	2028	10 to 15	2	36,300.00	36,300	0.3%			38,735											57,189
2,776	1	1	Allowance	Movie Theater, Renovation	2028	to 25	2	48,000.00	48,000	0.3%			51,220											
2,780	1	1	Allowance	Offices, Renovation	2040	to 15	14	28,300.00	28,300	0.2%														44,585
Clubhouse Building Services Elements																								
3,070	10	2	Each	Air Handling and Condensing Units, Split Systems, Clubhouse, Phased	2034	12 to 18	8 to 16	11,000.00	22,000	0.5%														
3,555	1	1	Allowance	Life Safety System, Control Panels	2027	to 15	1	15,000.00	15,000	0.1%				15,485										
3,560	1	1	Allowance	Life Safety System, Emergency Devices, Clubhouse	2027	to 25	1	37,000.00	37,000	0.2%				38,221										
3,820	3	1	Allowance	Security System, Clubhouse (Incl. Access Control), Phased	2030	10 to 15	4 to 14	27,500.00	27,500	0.4%												31,314		43,325
Property Site Elements																								
4,020	337,730	337,730	Square Yards	Asphalt Pavement, Patch Repairs and Striping	2030	3 to 5	4	0.50	168,865	3.1%							218,949							
4,040	7,600	7,600	Square Yards	Asphalt Pavement, Mill and Overlay, Clubhouse (2003)	2029	15 to 20	3	21.00	159,500	0.8%					175,928									
4,041	16,270	16,270	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Ambleside and Coventry (2024)	2044	15 to 20	18	21.00	341,670	0.9%														
4,042	10,390	10,390	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Bella Field (2013)	2038	15 to 20	12	21.00	216,190	0.5%													322,196	
4,043	10,320	10,320	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Brookforest (2001)	2026	15 to 20	0	21.00	216,720	1.0%														
4,044	9,590	9,590	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Copperleaf (2005)	2030	15 to 20	4	21.00	201,390	1.0%												225,319		
4,045	5,960	5,960	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Crosswinds (2005)	2032	15 to 20	6	21.00	125,160	0.7%													152,078	
4,047	19,090	19,090	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Edenfield (Incl. Villas) (2003)	2028	15 to 20	2	21.00	400,890	1.9%					427,785									
4,048	7,380	7,380	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Faigate (2003)	2029	15 to 20	3	21.00	154,980	0.8%						170,835								
4,050	5,890	5,890	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Grassglen (2006)	2034	15 to 20	8	21.00	123,690	0.7%							160,375							
4,051	9,420	9,420	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Knollpoint (2005)	2032	15 to 20	6	21.00	197,820	1.1%														
4,052	8,500	8,500	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Palmto Bend (2003)	2029	15 to 20	3	21.00	176,500	0.9%												240,366		
4,053	17,110	17,110	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Pinecrest (Incl. Forest Edge and Water Ash Dr) (2003)	2027	15 to 20	1	21.00	359,310	1.6%						371,167								
4,055	15,270	15,270	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Shoregrass (2004)	2030	15 to 20	4	21.00	320,670	1.6%												365,140		
4,056	6,930	6,930	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Springwood (2001)	2026	15 to 20	0	21.00	145,530	0.6%												145,530		
4,057	9,360	9,360	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Stillbrook (2005)	2031	15 to 20	5	21.00	196,560	1.0%													231,205	

RESERVE EXPENDITURES

Seven Oaks  
Community Development District  
Wesley Chapel, Florida

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis, Years		Unit (2026)	Per Phase (2026)	Total (2026)	Percentage of Future Expenditures	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	
						Useful	Remaining					2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	
Clubhouse Exterior Building Elements																											
1,050	1,350	1,350	Square Feet	Aborn, Wood	2028	to 25	2	38,00	51,300	51,300	0.3%															123,261	
1,280	100	100	Squares	Roof Assemblies, Asphalt Shingles	2032	12 to 18	6	650,00	65,000	65,000	0.3%						128,535										
1,880	7,600	7,600	Square Feet	Walls, Stucco, Paint Finishes and Capital Repairs, Clubhouse	2032	5 to 7	6	3,50	26,600	26,600	0.3%					50,920										63,913	
1,980	1,600	1,600	Square Feet	Windows and Doors	2043	to 40	17	150,00	240,000	240,000	0.6%		416,789														
Clubhouse Interior Building Elements																											
2,020	1	1	Allowance	Café, Renovation, Complete	2034	to 25	8	130,200,00	130,200	130,200	0.3%																
2,025	1	1	Allowance	Café, Renovation, Partial	2046	10 to 15	20	51,200,00	51,200	51,200	0.1%					98,011											
2,155	1	1	Allowance	Exercise Equipment, Cardiovascular	2030	to 5	4	36,300,00	36,300	36,300	0.6%					67,269				79,125						93,071	
2,165	1	1	Allowance	Exercise Equipment, Strength Training	2034	to 15	8	21,800,00	21,800	21,800	0.1%								46,001								
2,180	1	1	Allowance	Exercise Room, Renovation	2029	to 10	3	9,500,00	9,500	9,500	0.1%								20,046								
2,640	1	1	Allowance	Gathering Room, Renovation, Complete (Incl. Rounds and Hallway)	2027	to 25	1	149,400,00	149,400	149,400	0.7%										336,402						
2,645	1	1	Allowance	Gathering Room, Renovation, Partial (Incl. Rounds and Hallway)	2039	10 to 15	13	39,500,00	39,500	39,500	0.1%																
2,680	1	1	Allowance	Locker Rooms, Renovation	2041	20 to 25	15	123,000,00	123,000	123,000	0.3%																
2,775	1	1	Allowance	Movie Theater, Equipment	2028	10 to 15	2	36,300,00	36,300	36,300	0.3%										84,434						
2,776	1	1	Allowance	Movie Theater, Renovation	2028	to 25	2	48,000,00	48,000	48,000	0.3%											115,332				72,560	
2,780	1	1	Allowance	Offices, Renovation	2040	to 15	14	28,300,00	28,300	28,300	0.2%																
Clubhouse Building Services Elements																											
3,070	10	2	Each	Air Handling and Condensing Units, Split Systems, Clubhouse, Phased	2034	12 to 18	8 to 16	11,000,00	22,000	110,000	0.5%	36,985														58,268	
3,555	1	1	Allowance	Life Safety System, Control Panels	2027	to 15	1	15,000,00	15,000	15,000	0.1%	25,217															
3,560	1	1	Allowance	Life Safety System, Emergency Devices, Clubhouse	2027	to 25	1	37,000,00	37,000	37,000	0.2%																
3,820	3	1	Allowance	Security System, Clubhouse (Incl. Access Control), Phased	2030	10 to 15	4 to 14	27,500,00	27,500	82,500	0.4%				50,961					59,943						70,509	
Property Site Elements																											
4,020	337,730	337,730	Square Yards	Asphalt Pavement, Patch Repairs and Striping	2030	3 to 5	4	0,50	168,865	168,865	3.1%	283,887				323,256				368,084						419,130	
4,040	7,600	7,600	Square Yards	Asphalt Pavement, Mill and Overlay, Clubhouse (2003)	2029	15 to 20	3	21,00	159,600	159,600	0.8%								336,775								
4,041	16,270	16,270	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Amberside and Coventry (2024)	2044	15 to 20	18	21,00	341,670	341,670	0.9%			612,932													
4,042	10,390	10,390	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Bella Field (2013)	2038	15 to 20	12	21,00	218,190	218,190	0.5%																
4,043	10,320	10,320	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Brookforest (2001)	2026	15 to 20	0	21,00	216,720	216,720	1.0%					414,864											
4,044	9,590	9,590	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Copperleaf (2005)	2030	15 to 20	4	21,00	201,390	201,390	1.0%									438,981							
4,046	5,960	5,960	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Crosswinds (2005)	2032	15 to 20	6	21,00	125,160	125,160	0.7%										291,121						
4,047	19,090	19,090	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Edenfield (Incl. Villas) (2003)	2028	15 to 20	2	21,00	400,890	400,890	1.9%							818,903									
4,048	7,380	7,380	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Fungate (2003)	2029	15 to 20	3	21,00	154,980	154,980	0.8%								327,027							307,004	
4,050	5,890	5,890	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Grassglen (2006)	2034	15 to 20	8	21,00	123,690	123,690	0.7%																
4,051	9,420	9,420	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Knollpoint (2005)	2032	15 to 20	6	21,00	197,620	197,620	1.1%																
4,052	8,500	8,500	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Palmetto Bend (2003)	2029	15 to 20	3	21,00	178,500	178,500	0.9%																
4,053	17,110	17,110	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Pinecrest (Incl. Forest Edge and Water Ash Dry) (2003)	2027	15 to 20	1	21,00	359,310	359,310	1.6%						710,520										
4,055	15,270	15,270	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Shoregrass (2004)	2030	15 to 20	4	21,00	320,670	320,670	1.6%																
4,056	6,930	6,930	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Springwood (2001)	2026	15 to 20	0	21,00	145,530	145,530	0.6%					278,566											
4,057	9,360	9,360	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Stillbrook (2005)	2031	15 to 20	5	21,00	196,560	196,560	1.0%															442,592	

RESERVE EXPENDITURES

Sevon Oaks  
Community Development District  
Weoley Chapel, Florida

- Explanatory Notes:**  
1) **3.3%** is the estimated Inflation Rate for estimating Future Replacement Costs.  
2) FY2026 is Fiscal Year beginning October 1, 2025 and ending September 30, 2026.  
3) 2027+ indicates a component which is considered long-lived

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis, Years		Unit (2026)	Costs, \$		Percentage of Future Expenditures	RUL = 0																
						Useful	Remaining		Per Phase (2026)	Total (2026)		FY2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	
4.058	6,110	6,110	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Stonecreek (2007)	2035	15 to 20	9	21.00	126,310	126,310	0.8%																	171,855
4.059	5,900	5,900	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, The Laurels (2001)	2027	15 to 20	1	21.00	123,900	123,900	0.6%	127,989																
4.061	6,250	6,250	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Villas at Deer Run (2005)	2031	15 to 20	5	21.00	131,250	131,250	0.7%																	
4.062	6,040	6,040	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Villas at Willow Creek (2003)	2029	15 to 20	3	21.00	126,840	126,840	0.6%																	
4.063	13,000	13,000	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Watermark (2008)	2036	15 to 20	10	21.00	273,000	273,000	1.7%																	377,716
4.064	11,170	11,170	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Willowstone (2005)	2031	15 to 20	5	21.00	234,570	234,570	1.2%																	
4.070	37,960	37,960	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Ancient Oaks Blvd (N, Traffic Circle to Eggleston Blvd) (2026 is Budgeted)	2046	15 to 20	20	55.00	2,087,800	2,087,800	6.0%																	
4.071	37,270	37,270	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Ancient Oaks Blvd (S) & Summergate (2011)	2037	15 to 20	11	55.00	2,049,850	2,049,850	4.4%																	
4.073	27,960	27,960	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Mystic Oaks (2005)	2033	15 to 20	7	21.00	587,580	587,580	3.2%																	737,512
4.075	2,050	2,050	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Arrowgrass Dr (2003)	2029	15 to 20	3	21.00	43,050	43,050	0.2%																	
4.076	23,490	23,490	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Windcrest Dr & Windsor Dr (Incl. Sabal Point) (2006 & 2011)	2034	15 to 20	8	21.00	493,290	493,290	2.8%																	639,595
4.077	1,430	1,430	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Maryweather Lane (2007)	2035	15 to 20	9	21.00	30,030	30,030	0.2%																	40,222
4.080	10,250	10,250	Square Yards	Asphalt Pavement, Total Replacement, Nature Trail (Incl. Concrete)	2033	15 to 20	7	35.00	358,750	358,750	2.0%																	450,292
4.098	18,250	18,250	Square Feet	Boardwalks and Pillings, Wood, Decking and Structure Repairs	2028	to 15	2	25.00	456,250	456,250	0.7%	486,899																
4.099	18,250	18,250	Square Feet	Boardwalks and Pillings, Wood, Replacement	2043	to 30	17	55.00	1,003,750	1,003,750	2.8%																	
4.100	485	81	Each	Catch Basins, Inspections and Capital Repairs (2024 to 2028 is Budgeted), Phased	2026	15 to 20	0 to 5	900.00	72,747	436,500	2.1%	72,747	75,148	77,628	80,189	82,835	85,569											
4.101	1	1	Allowance	Clock Tower, Paint Finishes and Capital Repairs	2028	5 to 7	0	12,000.00	12,000	12,000	0.1%	12,000																
4.105	1	1	Allowance	Clock Tower, Paint Finishes and Capital Repairs	2028	5 to 7	0	12,000.00	12,000	12,000	0.1%	12,000																
4.110	283,800	7,095	Linear Feet	Concrete Cuts and Gutters, Partial	2026	to 65	0 to 30+	37.00	262,515	10,500,600	4.7%	262,515																
4.140	894,800	4,474	Square Feet	Concrete Sidewalks, Partial	2026	to 65	0 to 30+	12.00	53,888	10,737,600	4.3%	53,888	55,460	57,290	59,180	61,133	63,151	65,235	67,388	69,611	71,908	74,281	76,733	79,265	81,881	84,563	87,374	
4.200	350	350	Linear Feet	Fences, Aluminum, Common, Sabal Point	2036	to 25	10	45.00	15,750	15,750	0.0%																	
4.260	4,120	824	Linear Feet	Fences, Vinyl, Common, Phased	2027	15 to 20	1 to 9	35.00	28,640	144,200	0.6%	29,792			31,790		33,923		36,199									
4.261	900	180	Linear Feet	Guardrails, Common, Phased	2030	to 35	4 to 20	45.00	8,100	40,500	0.1%																	
4.400	12	6	Each	Irrigation System, Controls, Common, Phased	2030	to 15	4 to 11	4,000.00	24,000	48,000	0.2%																	
4.410	7	4	Each	Irrigation System, Pumps, Walls, Common, Phased	2028	15 to 20	2 to 10	7,500.00	26,250	52,500	0.3%																	
4.420	700	54	Zones	Irrigation System, Replacement, Common, Phased	2041	to 40+	15 to 27	3,000.00	161,550	2,100,000	6.3%																	
4.520	1	1	Allowance	Maintenance Building, Clubhouse	2053	to 35	27	40,000.00	40,000	40,000	0.1%																	
4.620	4,450	890	Square Feet	Pavers, Masonry, Parks and Playgrounds, Phased	2026	to 25	0 to 12	7.00	6,230	31,150	0.1%																	
4.621	76,050	6,338	Square Feet	Pavers, Masonry, Streets, Phased	2026	20 to 25	0 to 11	7.00	44,363	532,350	2.5%	44,363	45,826	47,339	48,901	50,515	52,182	53,904	55,662	57,520	59,418							
4.650	1	1	Allowance	Pipes, Subsurface Utilities, Storm Drainage, Inspections and Partial Replacements	2048	to 85+	22	55,000.00	55,000	55,000	0.2%																	
4.659	29	4	Each	Playground Attrons, Wood, Common (Incl. Parks, Nature Trail and North Roundabout), Phased	2026	to 25	0 to 12	11,000.00	45,540	319,000	1.1%	45,540																
4.660	1	1	Each	Playground Equipment, Clubhouse (Incl. Shade Structures)	2043	15 to 20	17	360,000.00	360,000	360,000	0.9%																	
4.661	13	4	Each	Playground Equipment, Communities (2022-2024), Phased	2041	15 to 20	15 to 17	75,000.00	324,750	975,000	2.9%																	
4.662	3	2	Each	Playground Equipment, Communities (2025-2026), Phased	2044	15 to 20	18 to 19	75,000.00	112,500	225,000	0.6%																	
4.663	2	1	Each	Playground Equipment, Communities, Remaining (2005 to 2013), Phased	2027	15 to 20	1 to 6	75,000.00	75,000	150,000	0.7%																	
4.700	1	1	Each	Pond, Aerator, Entrance Fountain	2026	10 to 15	0	23,000.00	23,000	23,000	0.2%																	
4.710	42,800	2,140	Linear Feet	Ponds, Erosion Control, Adjacent to Homes, Partial	2038	to 15	12 to 30+	46.00	98,440	1,968,800	0.5%																	
4.730	759,500	3,798	Square Yards	Ponds, Sediment Removal (Incl. Inspections & Repairs of Inlets, Outlets, & Control Devices), Partial	2028	to 15	2 to 30+	25.00	87,343	17,468,500	0.6%																	
4.740	19,500	19,500	Square Feet	Retaining Walls, Masonry, Inspection and Capital Repairs, Common	2028	10 to 15	2	6.50	126,750	126,750	0.5%																	
4.800	2	2	Each	Signage, Fountain Renovation, \$7556 Entrance Monuments, Fountain Basins and Mechanical Equipment	2027	to 15	1	25,000.00	50,000	50,000	0.2%																	
4.801	50	8	Each	Signage, Renovation, Communities, Entrance Monuments, Phased	2027	15 to 20	1 to 11	5,000.00	41,650	250,000	1.2%																	
4.810	6	1	Allowance	Signage, Replacement, Street and Traffic Assemblies, Common, Phased	2027	to 25	1 to 11	46,000.00	46,000	276,000	1.3%																	
4.820	10	1	Allowance	Site Furniture, Common, Phased	2027	15 to 25	1 to 10	15,000.00	15,000	150,000	0.8%																	

RESERVE EXPENDITURES

Seven Oaks  
Community Development District  
Wesley Chapel, Florida

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis, Years		Costs, \$		Percentage of Future Expenditures	2025-2056															
						Useful	Remaining	Unit (2026)	Total (2026)		16 (2042)	17 (2043)	18 (2044)	19 (2045)	20 (2046)	21 (2047)	22 (2048)	23 (2049)	24 (2050)	25 (2051)	26 (2052)	27 (2053)	28 (2054)	29 (2055)	30 (2056)	
4.058	6,110	6,110	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Stonecreek (2007)	2035	15 to 20	9	21.00	128,310	128,310	0.8%															328,980
4.059	5,900	5,900	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, The Laurels (2001)	2027	15 to 20	1	21.00	123,900	123,900	0.6%															
4.061	6,250	6,250	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Villas at Deer Run (2005)	2031	15 to 20	5	21.00	131,250	131,250	0.7%										295,534					
4.062	6,040	6,040	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Villas at Willow Creek (2003)	2029	15 to 20	3	21.00	126,840	126,840	0.6%										267,648					723,057
4.063	13,000	13,000	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Watermark (2008)	2036	15 to 20	10	21.00	273,000	273,000	1.7%															
4.064	11,170	11,170	Square Yards	Asphalt Pavement, Mill and Overlay, Communities, Willowstone (2005)	2031	15 to 20	5	21.00	234,570	234,570	1.2%										528,178					
4.070	37,960	37,960	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Ancient Oaks Blvd (N, Traffic Circle to Eggleston Blvd) (2026 is Budgeted)	2046	15 to 20	20	55.00	2,087,800	2,087,800	6.0%															
4.071	37,270	37,270	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Ancient Oaks Blvd (S) & Summergate (2011)	2037	15 to 20	11	55.00	2,049,850	2,049,850	4.4%															
4.073	27,960	27,960	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Mystic Oaks (2005)	2033	15 to 20	7	21.00	587,580	587,580	3.2%											1,411,808				
4.075	2,050	2,050	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Arrowgrass Dr (2003)	2029	15 to 20	3	21.00	43,050	43,050	0.2%										90,841					
4.076	23,490	23,490	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Windcrest Dr & Windsor Dr (Incl. Sabal Point) (2006 & 2011)	2034	15 to 20	8	21.00	493,290	493,290	2.8%															
4.077	1,430	1,430	Square Yards	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Maryweather Lane (2007)	2035	15 to 20	9	21.00	30,030	30,030	0.2%															76,995
4.080	10,250	10,250	Square Yards	Asphalt Pavement, Total Replacement, Nature Trail (Incl. Concrete)	2033	15 to 20	7	35.00	358,750	358,750	2.0%															861,987
4.098	18,250	18,250	Square Feet	Boardwalks and Pillings, Wood, Decking and Structure Repairs	2028	to 15	2	25.00	456,250	456,250	0.7%															
4.099	18,250	18,250	Square Feet	Boardwalks and Pillings, Wood, Replacement	2043	to 30	17	55.00	1,003,750	1,003,750	2.6%															
4.100	485	81	Each	Catch Basins, Inspections and Capital Repairs (2024 to 2028 is Budgeted), Phased	2026	15 to 20	0 to 5	90.00	72,747	436,500	2.1%															
4.105	1	1	Allowance	Clock Tower, Paint Finishes and Capital Repairs	2026	5 to 7	0	12,000.00	12,000	12,000	0.1%															
4.110	283,800	7,095	Linear Feet	Concrete Cuts and Gutters, Partial	2026	to 65	0 to 30+	37.00	262,515	10,500,600	4.7%										591,102					695,266
4.140	894,800	4,474	Square Feet	Concrete Sidewalks, Partial	2026	to 65	0 to 30+	12.00	53,888	10,737,600	4.3%															142,196
4.200	350	350	Linear Feet	Fences, Aluminum, Common, Sabal Point	2036	to 25	10	45.00	15,750	15,750	0.0%															
4.260	4,120	824	Linear Feet	Fences, Vinyl, Common, Phased	2027	15 to 20	1 to 9	35.00	28,840	144,200	0.6%															
4.261	900	180	Linear Feet	Guardrails, Common, Phased	2030	to 35	4 to 20	45.00	8,100	40,500	0.1%														20,768	
4.400	12	6	Each	Irrigation System, Controls, Common, Phased	2030	to 15	4 to 11	4,000.00	24,000	48,000	0.2%															
4.410	7	4	Each	Irrigation System, Pumps, Wells, Common, Phased	2028	15 to 20	2 to 10	7,500.00	26,250	52,500	0.3%															
4.420	700	54	Zones	Irrigation System, Replacement, Common, Phased	2041	to 40+	15 to 27	3,000.00	161,550	2,100,000	6.3%															
4.520	1	1	Allowance	Maintenance Building, Clubhouse	2053	to 35	27	40,000.00	40,000	40,000	0.1%															
4.620	4,450	890	Square Feet	Pavers, Masonry, Parks and Playgrounds, Phased	2026	to 25	0 to 12	7.00	6,230	31,150	0.1%															
4.621	76,050	6,338	Square Feet	Pavers, Masonry, Streets, Phased	2026	20 to 25	0 to 11	7.00	44,363	532,350	2.3%															
4.650	1	1	Allowance	Pipes, Subsurface Utilities, Storm Drainage, Inspections and Partial Replacements	2048	to 85+	22	55,000.00	55,000	55,000	0.2%															
4.659	29	4	Each	Playground Motors, Wood, Common (Incl. Parks, Nature Trail and North Roundabout), Phased	2026	to 25	0 to 12	11,000.00	45,540	319,000	1.1%															
4.660	1	1	Each	Playground Equipment, Clubhouse (Incl. Shade Structures)	2043	15 to 20	17	380,000.00	380,000	380,000	0.9%															
4.661	13	4	Each	Playground Equipment, Communities (2022-2024), Phased	2041	15 to 20	15 to 17	75,000.00	324,750	975,000	2.5%															
4.662	3	2	Each	Playground Equipment, Communities (2025-2026), Phased	2044	15 to 20	18 to 19	75,000.00	112,500	225,000	0.6%															
4.663	2	1	Each	Playground Equipment, Communities, Remaining (2005 to 2013), Phased	2027	15 to 20	1 to 6	75,000.00	75,000	150,000	0.7%															
4.700	1	1	Each	Pond, Aerator, Entrance Fountain	2026	10 to 15	0	23,000.00	23,000	23,000	0.2%															
4.710	42,800	2,140	Linear Feet	Ponds, Erosion Control, Adjacent to Homes, Partial	2038	to 15	12 to 30+	46.00	98,440	1,968,800	0.5%															
4.730	759,500	3,798	Square Yards	Ponds, Sediment Removal (Incl. Inspections & Repairs of Inlets, Outlets, & Control Devices), Partial	2028	to 15	2 to 30+	23.00	87,343	17,468,500	0.6%															
4.740	19,500	19,500	Square Feet	Retaining Walls, Masonry, Inspection and Capital Repairs, Common	2028	10 to 15	2	65.50	126,750	126,750	0.5%															
4.800	2	2	Each	Signage, Fountain Renovation, \$F56 Entrance Monuments, Fountain Basins and Mechanical Equipment	2027	to 15	1	25,000.00	50,000	50,000	0.2%															
4.801	50	8	Each	Signage, Renovation, Communities, Entrance Monuments, Phased	2027	15 to 20	1 to 11	5,000.00	41,650	250,000	1.2%															
4.810	6	1	Allowance	Signage, Replacement, Street and Traffic Assemblies, Common, Phased	2027	to 25	1 to 11	46,000.00	46,000	276,000	1.3%															
4.820	10	1	Allowance	Site Furniture, Common, Phased	2027	15 to 25	1 to 10	15,000.00	15,000	150,000	0.8%															



RESERVE EXPENDITURES

## Seven Oaks

## Community Development District

Wesley Chapel, Florida

[illegible]



RESERVE EXPENDITURES

Seven Oaks  
Community Development District  
Wesley Chapel, Florida

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis, Years		Costs, \$		Percentage of Future Expenditures																
						Useful	Remaining	Unit (2026)	Total (2026)		2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057
4,840	350	350	Linear Feet	Sport Court, Fence, Basketball, Clubhouse	2043	to 25	17	41.00	14,350	14,350	0.0%															
4,841	1,310	1,310	Linear Feet	Sport Courts, Fences, Tennis, Clubhouse	2044	to 25	18	41.00	53,710	53,710	0.1%	96,352														
4,850	4	4	Each	Sport Court, Light Poles and Fixtures, Basketball, Clubhouse	2033	to 30	7	2,700.00	10,800	10,800	0.0%															
4,851	16	16	Each	Sport Courts, Light Poles and Fixtures, Tennis, Clubhouse	2033	to 30	7	3,700.00	59,200	59,200	0.1%															
4,860	6,700	6,700	Square Feet	Sport Court, Surface Replacement, Concrete, Basketball, Clubhouse	2043	to 40	17	14.00	93,800	93,800	0.2%	162,895														
4,861	18	2	Each	Sport Courts, Surface Replacement, Concrete, Basketball, Community Playgrounds, Phased	2043	to 40	17 to 26	14,000.00	25,200	252,000	0.8%	43,763	45,207	46,699	48,240	49,832	51,476	53,175	54,930	56,743	58,615					
4,864	5	5	Courts	Sport Courts, Tennis, Clay, Scarify, Replenish and Laser Grade, Clubhouse	2029	4 to 6	3	7,300.00	36,500	36,500	0.6%	65,478														
4,865	5	5	Courts	Sport Courts, Tennis, Clay, Surface Replacement, Clubhouse	2038	to 35	12	36,500.00	182,500	182,500	0.4%															
4,955	1	1	Each	Vehicles, Maintenance Department, Truck, Ford F-150	2026	to 10	0	35,000.00	35,000	35,000	0.4%	77,019														
4,966	5	1	Each	Vehicles, Maintenance Department, Utility Carts (Quantities Vary by Year), Phased	2026	5 to 10	0 to 8	13,000.00	13,000	65,000	0.5%	21,855	23,321	24,886	26,555	28,337	30,238	32,267	34,431							
Pool Elements																										
6,200	29,050	29,050	Square Feet	Decks, Pavers	2033	25 to 30	7	9.00	261,450	261,450	0.5%															
6,400	1,550	1,550	Linear Feet	Fences, Aluminum	2028	to 25	2	55.00	85,250	85,250	0.4%															
6,500	1	1	Allowance	Furniture	2035	to 12	9	75,000.00	75,000	75,000	0.7%	138,985														
6,600	1	1	Allowance	Mechanical Equipment, Enclosures and Tank, Lap Pool	2047	to 25	21	77,000.00	77,000	77,000	0.2%	152,284														
6,601	1	1	Allowance	Mechanical Equipment, Enclosures and Tank, Resort Pool	2046	to 25	20	53,500.00	53,500	53,500	0.2%	102,414														
6,602	1	1	Allowance	Mechanical Equipment, Enclosures and Tank, Splash Park	2026	to 25	0	237,000.00	237,000	237,000	1.2%	533,650														
6,603	1	1	Allowance	Mechanical Equipment, Enclosures and Tank, Wading Pool	2026	to 25	0	44,000.00	44,000	44,000	0.2%															
6,604	1	1	Allowance	Mechanical Equipment, Tank, Water Slide	2043	to 25	17	21,500.00	21,500	21,500	0.1%	37,337														
6,605	12	12	Each	Mechanical Equipment, Geothermal Heaters	2037	to 15	11	16,000.00	192,000	192,000	1.1%	445,591														
6,800	4,930	4,930	Square Feet	Pool Finishes, Plaster, Lap Pool	2030	8 to 12	4	18.00	88,740	88,740	0.7%	193,431														
6,801	810	810	Linear Feet	Pool Finish, Tile, Lap Pool	2040	15 to 25	14	39.00	31,590	31,590	0.1%															
6,802	3,160	3,160	Square Feet	Pool Finishes, Plaster, Resort Pool	2030	8 to 12	4	18.00	56,880	56,880	0.4%	123,984														
6,803	270	270	Linear Feet	Pool Finish, Tile, Resort Pool	2040	15 to 25	14	39.00	10,530	10,530	0.0%															
6,804	1,680	1,680	Square Feet	Pool Finishes, Plaster, Splash Park Pool, Subsequent	2034	8 to 12	8	18.00	30,240	30,240	0.3%	54,248														
6,805	50	50	Linear Feet	Pool Finishes, Tile, Splash Park Pool, Subsequent	2044	15 to 25	18	39.00	1,950	1,950	0.0%	3,498														
6,806	170	170	Square Feet	Pool Finishes, Plaster, Wading Pool	2030	8 to 12	4	18.00	3,060	3,060	0.0%	6,670														
6,807	50	50	Linear Feet	Pool Finish, Tile, Wading Pool	2040	15 to 25	14	39.00	1,950	1,950	0.0%															
6,865	18	18	Each	Shade Structures, Canvas (Incl. Tennis Courts)	2027	6 to 8	1	4,000.00	72,000	72,000	0.7%	162,121														
6,870	18	18	Each	Shade Structures, Canvas and Frame (Incl. Tennis Courts)	2033	to 25	7	7,500.00	135,000	135,000	0.3%															
6,901	9,940	9,940	Square Feet	Structures, Total Replacement, Lap, Resort, Splash Park and Wading Pools	2063	to 60	37	170.00	1,688,800	1,688,800	0.0%															
6,950	15	15	Each	Water Features, Splash Pad	2030	to 15	4	4,000.00	60,000	60,000	0.3%	111,188														
6,960	450	450	Square Feet	Water Feature, Splash Pad, Safety Surface	2030	4 to 6	4	20.00	9,000	9,000	0.1%	19,618														
6,975	1	1	Allowance	Water Slide, Fiberglass, Refinishing	2030	to 5	4	56,500.00	56,500	56,500	0.8%	104,702														
6,980	1	1	Allowance	Water Slide, Fiberglass, Replacement, (Incl. Stair Tower)	2035	to 25	9	322,000.00	322,000	322,000	0.7%	123,156														
10,000	1	1	Allowance	2026 Reserve Expenditures	2026	N/A	0	2,435,682.00	2,435,682	2,435,682	3.7%															
	1	1	Allowance	Reserve Study Update with Site Visit	2027	2	1	6,650.00	6,650	6,650	0.0%															
Anticipated Expenditures, By Year (\$66,336,796 over 30 years)										1,373,416 4,261,981 1,688,706 1,412,802 6,702,632 2,227,104 2,098,314 2,573,942 2,952,375 4,429,299 2,208,136 3,857,065 2,528,866 1,854,466 1,946,953																

## RESERVE FUNDING PLAN

### CASH FLOW ANALYSIS

Seven Oaks

Community Development District

Wesley Chapel, Florida

Individual Reserve Budgets & Cash Flows for the Next 30 Years

	FY2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041
Reserves at Beginning of Year	3,669,718	1,275,862	1,361,557	1,048,856	1,325,200	1,285,001	1,453,626	2,197,420	1,729,070	1,819,391	2,417,453	3,152,617	1,546,270	2,090,198	3,695,002	4,995,789
Total Recommended Reserve Contributions	(Note 1) 1,247,600	1,280,400	1,322,700	1,366,300	1,411,400	1,458,000	1,506,100	1,555,800	1,607,100	1,660,100	1,714,900	1,771,500	1,830,000	1,890,400	1,952,800	2,017,200
Estimated Interest Earned, During Year	(Note 2) 5,558	35,131	32,107	31,623	34,768	36,479	48,633	52,302	47,266	56,436	74,194	62,590	48,438	77,060	115,763	141,279
Anticipated Expenditures, By Year	(Note 3) (3,647,015)	(1,229,836)	(1,667,508)	(1,121,579)	(1,486,366)	(1,325,854)	(810,940)	(2,076,452)	(1,564,044)	(1,118,474)	(1,053,930)	(3,440,436)	(1,334,511)	(362,655)	(767,776)	(1,543,631)
Anticipated Reserves at Year End		\$1,275,862	\$1,361,557	\$1,048,856	\$1,325,200	\$1,285,001	\$1,453,626	\$2,197,420	\$1,729,070	\$1,819,391	\$2,417,453	\$3,152,617	\$1,546,270	\$2,090,198	\$3,695,002	\$4,995,789
																\$5,610,637

(continued)

Individual Reserve Budgets & Cash Flows for the Next 30 Years, Continued

	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056
Reserves at Beginning of Year	5,610,637	6,482,097	4,519,256	5,213,797	6,250,603	2,031,085	2,312,943	2,814,933	2,933,157	2,758,496	1,172,661	1,888,500	1,048,862	1,632,309	3,220,584
Total Recommended Reserve Contributions	2,083,800	2,152,600	2,223,600	2,297,000	2,372,800	2,451,100	2,532,000	2,615,600	2,701,900	2,791,100	2,883,200	2,978,300	3,076,600	3,178,100	3,283,000
Estimated Interest Earned, During Year	161,077	146,540	129,646	152,708	110,314	57,863	68,304	76,566	75,814	52,364	40,775	39,126	35,714	64,641	106,347
Anticipated Expenditures, By Year	(1,373,416)	(4,261,981)	(1,658,706)	(1,412,902)	(6,702,632)	(2,227,104)	(2,098,314)	(2,573,942)	(2,952,375)	(4,429,299)	(2,208,136)	(3,857,065)	(2,528,866)	(1,654,466)	(1,846,583)
Anticipated Reserves at Year End	\$6,482,097	\$4,519,256	\$5,213,797	\$6,250,603	\$2,031,085	\$2,312,943	\$2,814,933	\$2,933,157	\$2,758,496	\$1,172,661	\$1,888,500	\$1,048,862	\$1,632,309	\$3,220,584	\$4,763,348
															(NOTE 4)
															(NOTE 5)

#### Explanatory Notes:

- 1) Year 2026 starting reserves are as of October 1, 2025; FY2026 starts October 1, 2025 and ends September 30, 2026.
- 2) Reserve Contributions for 2026 are budgeted; 2027 is the first year of recommended contributions.
- 3) 2.7% is the estimated annual rate of return on invested reserves; 2026 is a partial year of interest earned.
- 4) Accumulated year 2056 ending reserves consider the need to fund for subsequent repaving of the asphalt pavement shortly after 2056, and the age, size, overall condition and complexity of the property.
- 5) Threshold Funding Years (reserve balance at critical point).

**FIVE-YEAR OUTLOOK****Seven Oaks  
Community Development District**  
Wesley Chapel, Florida

Line Item	Reserve Component Inventory	RUL = 0 FY2026	1 2027	2 2028	3 2029	4 2030	5 2031
<b><u>Clubhouse Exterior Building Elements</u></b>							
1.050	Arbors, Wood			54,742			
<b><u>Clubhouse Interior Building Elements</u></b>							
2.155	Exercise Equipment, Cardiovascular					41,334	
2.180	Exercise Room, Renovation				10,472		
2.640	Gathering Room, Renovation, Complete (Incl. Rotunda and Hallway)		154,330				
2.775	Movie Theater, Equipment			38,735			
2.776	Movie Theater, Renovation			51,220			
<b><u>Clubhouse Building Services Elements</u></b>							
3.555	Life Safety System, Control Panels		15,495				
3.560	Life Safety System, Emergency Devices, Clubhouse		38,221				
3.820	Security System, Clubhouse (Incl. Access Control), Phased					31,314	
<b><u>Property Site Elements</u></b>							
4.020	Asphalt Pavement, Patch Repairs and Striping					192,283	
4.040	Asphalt Pavement, Mill and Overlay, Clubhouse (2003)				175,928		
4.043	Asphalt Pavement, Mill and Overlay, Communities, Brookforest (2001)	216,720					
4.044	Asphalt Pavement, Mill and Overlay, Communities, Copperleaf (2005)					229,319	
4.047	Asphalt Pavement, Mill and Overlay, Communities, Edenfield (Incl. Villas) (2003)			427,785			
4.048	Asphalt Pavement, Mill and Overlay, Communities, Fairgate (2003)				170,835		
4.052	Asphalt Pavement, Mill and Overlay, Communities, Palmetto Bend (2003)				196,761		
4.053	Asphalt Pavement, Mill and Overlay, Communities, Pinecrest (Incl. Forest Edge and Water Ash Dr) (2003)		371,167				
4.055	Asphalt Pavement, Mill and Overlay, Communities, Shoregrass (2004)					365,140	
4.056	Asphalt Pavement, Mill and Overlay, Communities, Springwood (2001)	145,530					
4.057	Asphalt Pavement, Mill and Overlay, Communities, Stillbrook (2005)						231,205
4.059	Asphalt Pavement, Mill and Overlay, Communities, The Laurels (2001)		127,989				
4.061	Asphalt Pavement, Mill and Overlay, Communities, Villas at Deer Run (2005)						154,384
4.062	Asphalt Pavement, Mill and Overlay, Communities, Villas at Willow Creek (2003)				139,816		
4.064	Asphalt Pavement, Mill and Overlay, Communities, Willowstone (2005)						275,914
4.075	Asphalt Pavement, Mill and Overlay, Main Roads, Commercial, Arrowgrass Dr (2003)				47,454		
4.098	Boardwalks and Pilings, Wood, Decking and Structure Repairs			486,859			
4.100	Catch Basins, Inspections and Capital Repairs (2024 to 2028 is Budgeted), Phased	72,747	75,148	77,628	80,189	82,835	85,569
4.105	Clock Tower, Paint Finishes and Capital Repairs	12,000					
4.110	Concrete Curbs and Gutters, Partial	262,515					308,785
4.140	Concrete Sidewalks, Partial	53,688	55,460	57,290	59,180	61,133	63,151
4.260	Fences, Vinyl, Common, Phased		29,792		31,790		33,923
4.261	Guardrails, Common, Phased					9,223	
4.400	Irrigation System, Controls, Common, Phased					27,328	
4.410	Irrigation System, Pumps, Wells, Common, Phased			28,011			
4.620	Pavers, Masonry, Parks and Playgrounds, Phased	6,230			6,867		
4.621	Pavers, Masonry, Streets, Phased	44,363	45,826	47,339	48,901	50,515	52,182
4.659	Playground Arbors, Wood, Common (Incl. Parks, Nature Trail and North Roundabout), Phased	45,540		48,595		51,855	
4.663	Playground Equipment, Communities, Remaining (2005 to 2013), Phased		77,475				
4.700	Pond, Aerator, Entrance Fountain	23,000					

**FIVE-YEAR OUTLOOK****Seven Oaks  
Community Development District**  
Wesley Chapel, Florida

Line Item	Reserve Component Inventory	RUL = 0 FY2026	1 2027	2 2028	3 2029	4 2030	5 2031
4.730	Ponds, Sediment Removal (Incl. Inspections & Repairs of Inlets, Outlets, & Control Devices), Partial			93,202			
4.740	Retaining Walls, Masonry, Inspection and Capital Repairs, Common			135,254			
4.800	Signage, Fountain Renovation, SR56 Entrance Monuments, Fountain Basins and Mechanical Equipment		51,650				
4.801	Signage, Renovation, Communities, Entrance Monuments, Phased		43,024		45,911		48,991
4.810	Signage, Replacement, Street and Traffic Assemblies, Common, Phased		47,518		50,706		54,108
4.820	Site Furniture, Common, Phased		15,495	16,006	16,535	17,080	17,644
4.864	Sport Courts, Tennis, Clay, Scarify, Replenish and Laser Grade, Clubhouse				40,234		
4.965	Vehicles, Maintenance Department, Truck, Ford F-150	35,000					
4.966	Vehicles, Maintenance Department, Utility Carts (Quantities Vary by Year), Phased	13,000		13,872		14,803	
<b><u>Pool Elements</u></b>							
6.400	Fences, Aluminum			90,969			
6.602	Mechanical Equipment, Enclosures and Tank, Splash Park	237,000					
6.603	Mechanical Equipment, Enclosures and Tank, Wading Pool	44,000					
6.800	Pool Finishes, Plaster, Lap Pool					101,046	
6.802	Pool Finishes, Plaster, Resort Pool					64,768	
6.806	Pool Finishes, Plaster, Wading Pool					3,484	
6.865	Shade Structures, Canvas (Incl. Tennis Courts)		74,376				
6.950	Water Features, Splash Pad					68,321	
6.960	Water Feature, Splash Pad, Safety Surface					10,248	
6.975	Water Slide, Fiberglass, Refinishing					64,335	
10.000	2026 Reserve Expenditures	2,435,682					
	Reserve Study Update with Site Visit		6,869				
	<b>Anticipated Expenditures, By Year (\$10,478,158 over 5 years)</b>	<b>3,647,015</b>	<b>1,229,836</b>	<b>1,667,508</b>	<b>1,121,579</b>	<b>1,486,366</b>	<b>1,325,854</b>

## 4. RESERVE COMPONENT DETAIL

The Reserve Component Detail of this *Reserve Study* includes enhanced solutions and procedures for select significant components. This section describes the Reserve Components, documents specific problems and condition assessments, and may include detailed solutions and procedures for necessary capital repairs and replacements for the benefit of current and future board members.

We advise the Board use this information to help define the scope and procedures for repair or replacement when soliciting bids or proposals from contractors. *However, the Report in whole or part is not and should not be used as a design specification or design engineering service.*

### Clubhouse Exterior Building Elements



Clubhouse overview



Clubhouse overview

### Arbors, Wood

---

**Line Item:** 1.050

**Quantity:** Five wood arbors comprised of 1,350 square feet

**History:** Original to installation in 2003

**Condition:** Good to fair overall





**Clubhouse arbor**



**Clubhouse arbor**



**Clubhouse arbor**



**Finish stains**

**Useful Life:** Up to 25 years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Roof Assemblies, Asphalt Shingles**

**Line Item:** 1.280

**Quantity:** Approximately 100 squares<sup>1</sup>

**History:** Replaced in 2017.

**Condition:** Good overall with minor shingle lift and discoloration evident from our visual inspection from the ground. Management and the Board do not report a history of leaks.

<sup>1</sup> We quantify the roof area in squares where one square is equal to 100 square feet of surface area.





**Asphalt shingle roofs at clubhouse**



**Asphalt shingle roofs at clubhouse**



**Roof vents**



**Clubhouse roof overview**



**Typical asphalt shingles**



**Typical roof ridge and valley**





**Shingle lift**



**Minor shingle discoloration**



**Typical gutters and metal drip edge**



**Gutter and downspout assemblies**

**Useful Life:** 12- to 18-years

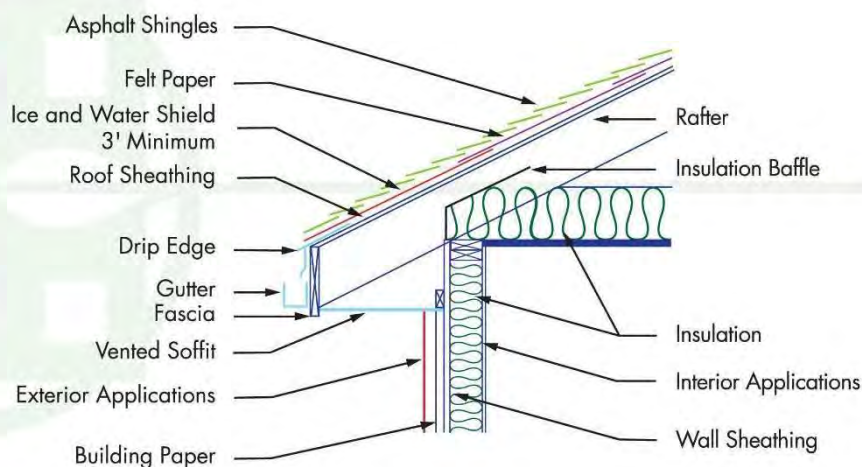
**Component Detail Notes:** The existing roof assembly comprises the following:

- Laminate three tab shingles
- Lead boot flashing
- Soffit and box vents
- Metal drip edge
- Enclosed half weave valleys

The following cross-sectional schematic illustrates a typical asphalt shingle roof system although it may not reflect the actual configuration at Seven Oaks:



## ROOF SCHEMATIC



© Reserve Advisors

Contractors use one of two methods for replacement of sloped roofs, either an overlayment or a tear-off. Overlayment is the application of new shingles over an existing roof. However, there are many disadvantages to overlayment including hidden defects of the underlying roof system, absorption of more heat resulting in accelerated deterioration of the new and old shingles, and an uneven visual appearance. Therefore, we recommend only the tear-off method of replacement. The tear-off method of replacement includes removal of the existing shingles, flashings if required and underlayments.

**Preventative Maintenance Notes:** We recommend the District maintain a service and inspection contract with a qualified professional and record all documentation of repairs conducted. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Record any areas of water infiltration, flashing deterioration, damage or loose shingles
  - Implement repairs as needed if issues are reoccurring
  - Trim tree branches that are near or in contact with roof
- As-needed:
  - Ensure proper ventilation and verify vents are clear of debris and not blocked from attic insulation

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost includes an allowance for replacement of gutters and downspouts. Additionally, we include an allowance for replacement of up to fifty percent (50%) of the soffit and fascial concurrent with roof replacements.

## Walls, Stucco

---

**Line Item:** 1.880

**Quantity:** Approximately 7,600 square feet of the building exterior

**History:** Applied paint finishes in 2025.

**Condition:** Good overall with no significant deterioration evident.



Stucco wall finishes

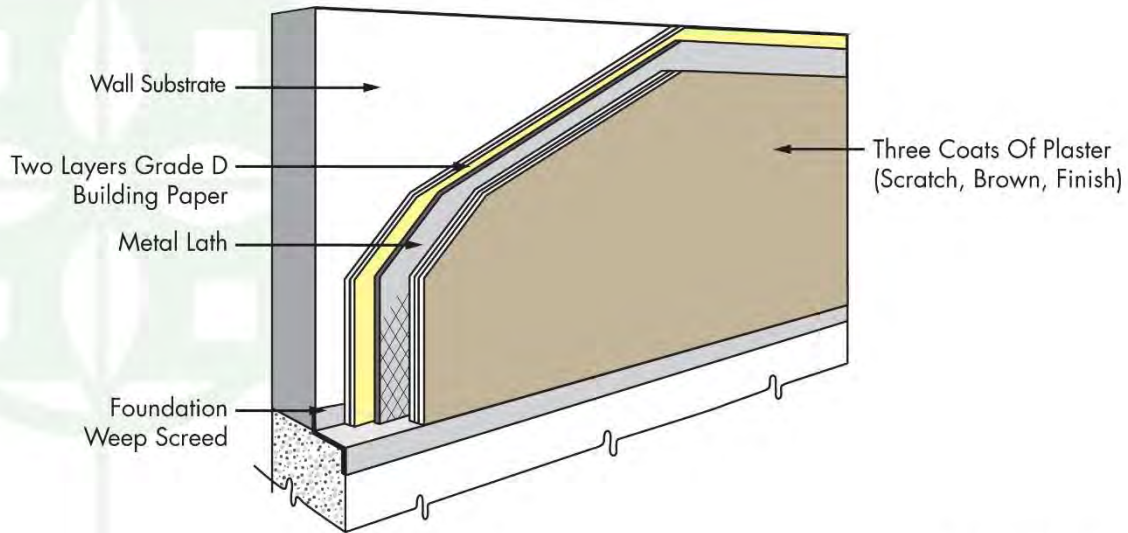


Stucco wall finishes

**Useful Life:** We recommend inspections, repairs and paint finish applications every five-to seven-years.

**Component Detail Notes:** The following graphic details the typical components of a stucco wall system on frame construction although it may not reflect the actual configuration at Seven Oaks:

## STUCCO DETAIL



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Correct and complete preparation of the surface before application of the paint finish maximizes the useful life of the paint finish and surface. The contractor should remove all loose, peeled or blistered paint before application of the new paint finish. The contractor should then power wash the surface to remove all dirt and biological growth. Water-soluble cleaners that will not attack Portland cement are acceptable for removing stains.

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost is based on information provided by Management. We anticipate the following in coordination with each paint finish application:

- Complete inspection of the stucco
- Crack repairs as needed (Each paint product has the limited ability to cover and seal cracks but we recommend repair of all cracks which exceed the ability of the paint product to bridge.)
- Replacement of up to one percent (1%), of the stucco walls (The exact amount of area in need of replacement will be discretionary based on the actual future conditions and the desired appearance.)
- Replacement of up to thirty-three percent (33%) of the sealants in coordination with each paint finish application.



## Windows and Doors

---

**Line Item:** 1.980

**Quantity:** Approximately 1,600 square feet

**History:** Original to 2003

**Condition:** Good overall



Common windows



Common windows



Typical vinyl frames

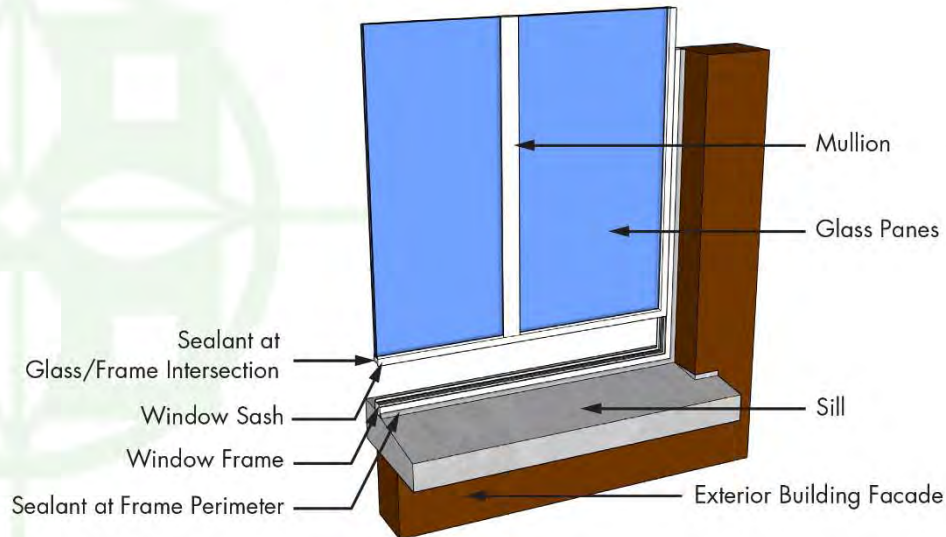
**Useful Life:** Up to 40 years

**Component Detail Notes:** Construction includes the following:

- Vinyl frames
- Single pane glass
- Single hung windows
- Hinged doors

The following schematic depicts the typical components of a window system although it may not reflect the actual configuration at Seven Oaks:

## WINDOW DETAIL



© Reserve Advisors

Properly designed window and door assemblies anticipate the penetration of some storm water beyond the gaskets. This infiltrated storm water collects in an internal drainage system and drains, or exits, the frames through weep holes. These weep holes can become clogged with dirt or if a sealant is applied, resulting in trapped storm water. However, as window frames, gaskets and sealants deteriorate, leaks into the interior can result. The windows and doors will eventually need replacement or major capital repairs to prevent water infiltration and damage from wind driven rain.

The thermal efficiencies of the window and door assemblies are affected by their design and construction components. These components include glazings, thickness of air space between glazings, low-conductivity gas, tinted coatings, low-e coatings and thermal barriers. The District should thoroughly investigate these component options at the time of replacement. Some manufacturers may include these components as part of the standard product and other manufacturers may consider these components as options for an additional cost. Seven Oaks should review the specifications provided by the manufacturers to understand the thermal design and construction components of the proposed assemblies.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair loose weather stripping and/or lock damage
  - Inspect for broken glass and damaged screens
  - Record instances of water infiltration, trapped moisture or leaks

- As-needed:
  - Verify weep holes are unobstructed and not blocked with dirt or sealant, if applicable
  - Replace damaged or deteriorated sliding glass rollers, if applicable

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Clubhouse Interior Building Elements

### Café

---

**Line Items:** 2.020 and 2.025

**Quantity:** Components of the café include:

- Tile floor coverings
- Paint finishes at the walls
- Paint finishes at the ceilings
- Cabinets and countertops
- Light fixtures

**History:** Primarily original to 2003, with a partial renovation completed in 2020.

**Condition:** Good overall with no significant deterioration evident.



Café overview



Café overview





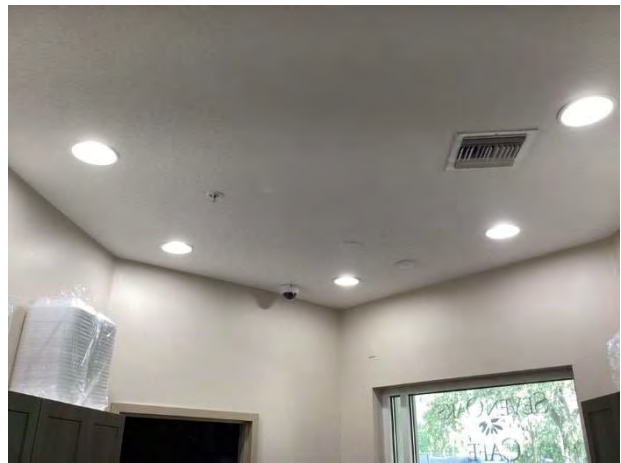
**Café overview**



**Café kitchen cabinets and countertops**



**Café kitchen overview**



**Typical café finishes**

**Useful Life:** Complete renovation up to every 25 years and partial renovation up to every 10 to 15 years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We are informed that the District plans for replacement of commercial kitchen appliances on an as needed basis and replacement will be funded through the operating budget. The complete renovation should include replacement of all components listed above and the partial renovations should include the following:

- Paint finishes
- Replacement of up to fifty percent (50%) of furnishings

## Exercise Equipment

---

**Line Items:** 2.155 and 2.165

**Quantity:** The exercise room contains the following types of cardiovascular aerobic training equipment:

- Ellipticals (2)
- Stationary cycles (3)
- Television
- Treadmills (3)

The exercise room contains the following types of strength training equipment:

- Benches
- Dumbbells
- Weight training machines (4)

### **History and Condition:**

- Cardiovascular equipment: Replaced in 2019 and isolated replacements in 2023. Reported in good condition.
- Strength training equipment: Replaced in 2019 and reported in good condition. We note minor, isolated equipment damage.



**Strength training exercise equipment**



**Cardiovascular exercise equipment**





**Equipment damage**



**Strength training exercise equipment**



**Cardiovascular exercise equipment**

**Useful Life:** The useful life of cardiovascular equipment is up to five years. The useful life of strength training equipment is up to 15 years.

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Exercise Room

---

**Line Item:** 2.180

**Quantity:** The exercise room components include:

- Rubber floor coverings
- Paint finishes at the walls
- Paint finishes at the ceilings

**History:** Renovated in 2019.

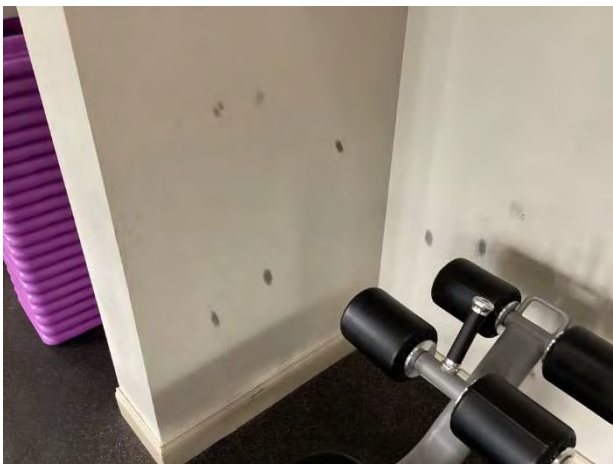
**Condition:** Good to fair overall with minor wall scuffs evident



Exercise room flooring



Exercise room finishes



Wall scuffs



Exercise room overview

**Useful Life:** Renovation up to every 10 years

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.



## Gathering Room

---

**Line Items:** 2.640 and 2.645

**Quantity:** The Gathering room includes the kitchen, rotunda and hallway. The Gathering room components include:

- Tile floor coverings
- Paint finishes at the walls
- Paint finishes at the ceilings
- Furnishings

**History:** Finishes and appliances are most likely original to 2003. Furnishings are of an unknown age.

**Condition:** Good to fair overall



Gathering room overview



Gathering room furnishings



Gathering room kitchen overview



Gathering room finishes



**Rotunda overview**



**Typical hallway**



**Minor finish damage**



**Finish damage**

**Useful Life:** Complete renovation up to every 25 years and partial renovation every 10- to 15-years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The complete renovation should include replacement of all components listed above and the partial renovations should include the following:

- Paint finishes
- Replacement of up to fifty percent (50%) of furnishings



## Locker Rooms

---

**Line Item:** 2.680

**Quantity:** Two. The locker rooms components include:

- Tile floor coverings
- Tile wall coverings and paint finishes
- Paint finishes at the ceilings
- Lockers
- Plumbing fixtures

**History:** Renovated in 2019.

**Condition:** Good overall



**Locker room overview**



**Typical fixtures**



**Lockers**



**Showers**



**Locker room finishes**



**Finish damage**

**Useful Life:** Renovation every 20- to 25-years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Movie Theater, Equipment**

---

**Line Item:** 2.775

**Quantity:** The movie theater equipment components include:

- Audio system
- Media system
- Projector
- Screen
- Speaker system

**History:** Varying unknown ages, with reported interim replacement of individual electronic elements

**Condition:** Reported operational however, District Management report plans for near-term replacement



**Media system**



**Projector**



**Audio equipment**

***Useful Life:*** 10- to 15-years

***Priority/Criticality:*** Per Board discretion

***Expenditure Detail Notes:*** Expenditure timing and costs are depicted in the ***Reserve Expenditures*** table in Section 3.



## Movie Theater, Renovation

---

**Line Item:** 2.776

**Quantity:** The movie theater room components include:

- Carpet floor coverings
- Wall coverings at the walls
- Paint finishes at the ceilings
- Light fixtures
- Furnishings, including theater seating

**History:** Original to 2003, with reported interim replacement of the carpet flooring

**Condition:** Good overall



Theater overview



Theater overview



Minor finish damage

**Useful Life:** Up to 25 years

**Priority/Criticality:** Per Board discretion



**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Offices

---

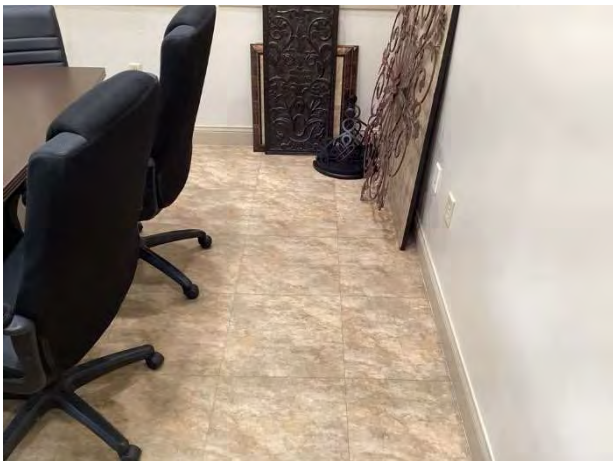
**Line Item:** 2.780

**Quantity:** The offices include the clubhouse office, conference room, and guest office. These office components include:

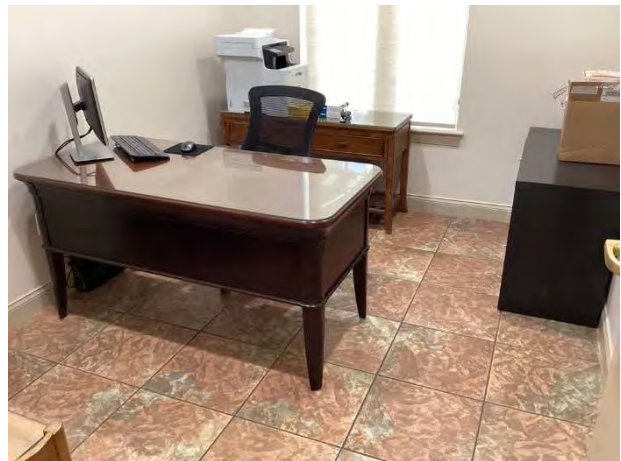
- Vinyl and tile floor coverings
- Paint finishes at the walls
- Paint finishes at the ceilings
- Furnishings
- Equipment

**History:** Mostly original to 2003

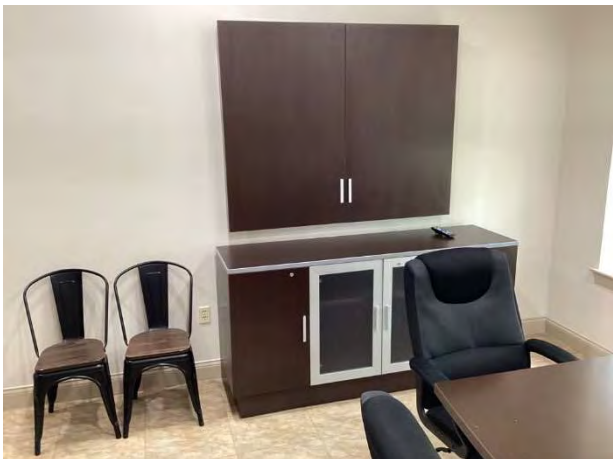
**Condition:** Good to fair overall.



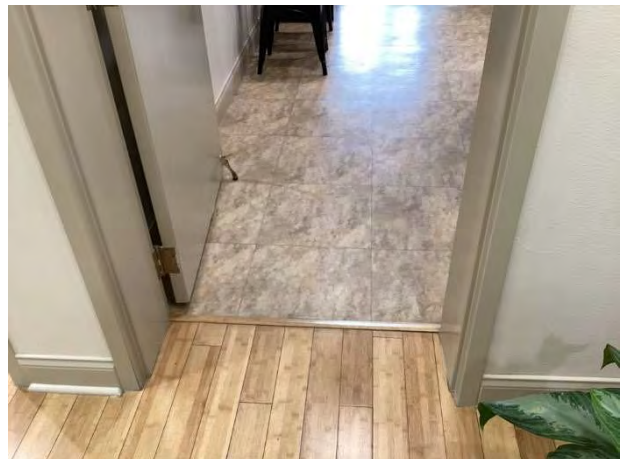
Conference room finishes



Office overview



Conference room furnishings



Typical floor coverings

**Useful Life:** Renovation up to every 15 years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Building Services Elements

### Air Handling and Condensing Units, Split Systems

---

**Line Item:** 3.070

**Quantity:** 10 split systems

**History:** Installed from 2002 through 2022. Four units were replaced in 2025.

**Condition:** Reported satisfactory with operational deficiencies



Split system condensing units



Split system condensing units



Rust at fan

**Useful Life:** 12- to 18-years

**Component Detail Notes:** A split system air conditioner consists of an outside condensing unit, an interior evaporator coil, refrigerant lines and an interior air handling unit. The condensing units have cooling capacities that range from three- to five-tons.

**Preventative Maintenance Notes:** We recommend the District obtain and adhere to the manufacturer's recommended maintenance plan. We also recommend the District maintain a maintenance contract with a qualified professional. The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
  - Lubricate motors and bearings
  - Change or clean air filters as needed
  - Inspect condenser base and piping insulation
  - Inspect base pan, coil, cabinet and clear obstructions as necessary
- Annually:
  - Clean coils and drain pans, clean fan assembly, check refrigerant charge, inspect fan drive system and controls
  - Inspect and clean accessible ductwork as needed
  - Clean debris from inside cabinet, inspect condenser compressor and associated tubing for damage

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The condensing unit may require replacement prior to replacement of the related interior forced air unit. For purposes of this Reserve Study, we assume coordination of replacement of the interior forced air unit, evaporator coil, refrigerant lines and exterior condensing unit.

## **Life Safety System**

---

**Line Items:** 3.555 and 3.560

**Quantity:** The life safety system at Seven Oaks includes the following components:

- Audio/visual fixtures
- Control panels
- Detectors
- Exit light fixtures
- Pull stations
- Wiring

**History:** Original to 2003.

**Conditions:** Reported operational satisfactory with operational deficiencies.





**Control panel**



**Annunciator panel**



**Emergency devices**

**Useful Life:** Up to 25 years for the devices and up to 15 years for the control panels

**Preventative Maintenance Notes:** We recommend the District obtain and adhere to the manufacturer's recommended maintenance plan. In accordance with *NFPA 72* (National Fire Alarm and Signaling Code) we also recommend the District maintain a maintenance contract with a qualified professional. The required preventative maintenance may vary in frequency and scope based on the age of the components, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
  - Inspect and test all components and devices, including, but not limited to, control panels, annunciators, detectors, audio/visual fixtures, signal transmitters and magnetic door holders
  - Test backup batteries
- As-needed:
  - Ensure clear line of access to components such as pull stations
  - Ensure detectors are properly positioned and clean of debris

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Changes in technology or building codes may make a replacement desirable prior to the end of the functional life. Our estimate of future cost considers only that amount necessary to duplicate the same functionality. Local codes or ordinances at the actual time of replacement may require a betterment as compared to the existing system. A betterment could result in a higher, but at this time unknown, cost of replacement.

## Security System

**Line Item:** 3.820

**Quantity:** Seven Oaks utilizes the following security system components:

- Automated proximity reader system (8 access points)
- Cameras (71)
- Multiplexer
- Recorder

**History:** Varying ages

**Condition:** Reported satisfactory without operational deficiencies



Security system



Security system cameras

**Useful Life:** 10- to 15-years

**Preventative Maintenance Notes:** We recommend the District obtain and adhere to the manufacturer's recommended maintenance plan. The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Monthly:
  - Check cameras for proper focus, fields of view are unobstructed and camera and lenses are clean and dust-free

- Check recording equipment for proper operation
- Verify monitors are free from distortion with correct brightness and contrast
- Annually:
  - Check exposed wiring and cables for wear, proper connections and signal transmission
  - Check power connections, and if applicable, functionality of battery power supply systems

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The District should anticipate replacement of up to thirty-three percent (33%) of the security system components per event.

## Property Site Elements

### Asphalt Pavement

---

**Line Items:** 4.040 through 4.066 and 4.070 through 4.077

**Quantity:** Approximately 337,730 square yards of streets and parking lots in Seven Oaks communities, and common areas located throughout the community. This quantity excludes the streets and parking located within the Lakeside Town Home community, pool parking within the Villas at Willow Creek community, and parking and streets within retail and office properties owned by others.

The following table depicts the pavement locations, quantities, and the date of last pavement/repaving event. The quantity and last repaving event is based on information provided by the District.

Pavement Locations	Quantity (Square Yards)	Date of Last Repaving Event
Clubhouse (Incl. Parking)	7,600	2003
Amberside and Coventry	16,270	2024
Bella Field	10,390	2013
Brookforest	10,320	2001
Copperleaf	9,590	2005
Crosswinds	5,960	2005
Edenfield (Incl. Villas)	19,090	2003
Fairgate	7,380	2003
Grassglen	5,890	2006
Knollpoint	9,420	2005
Palmetto Bend	8,500	2003
Pinecrest	17,110	2003



Shoregrass	15,270	2004
Springwood	6,930	2001
Stillbrook	9,360	2005
Stonecreek	6,110	2007
The Laurels	5,900	2001
Villas at Deer Run	6,250	2005
Villas at Willow Creek	6,040	2003
Watermark	13,000	2008
Willowstone	11,170	2005
Main Roads, Ancient Oaks Blvd (N)	37,960	2026
Main Roads, Ancient Oaks Blvd (S) & Summergate	37,720	2011
Main Roads, Mystic Oaks	27,980	2005
Main Roads, Commercial, Arrowgrass Dr	2,050	2003
Main Roads, Commercial, Windcrest Dr & Windfair Dr (Incl. Sabal Point)	23,490	2006 & 2011
Main Roads, Commercial, Maryweather Lane	1,430	2007

**History:** Varied ages

**Condition:** Good to fair overall with varying conditions



**Ancient Oaks pavement overview**



**Pavement cracks at Ancient Oaks**





**Pavement cracks at Ancient Oaks Roundabout**



**Pavement cracks at Ancient Oaks Roundabout**



**Pavement overview at Ancient Oaks**



**Pavement overview at Ancient Oaks**



**Pavement cracks at Ancient Oaks**



**Pavement cracks at Ancient Oaks**





**Pavement overview**



**Pavement overview at Amberside**



**Pavement overview at Amberside**



**Pavement cracks at Edenfield**



**Pavement cracks and deterioration at Edenfield**



**Seal coat deterioration at Forest Edge**





**Pavement overview at Forest Edge**



**Pavement cracks at Pinecrest**



**Pavement patch at Pinecrest**



**Pavement overview at Sabal Point**



**Pavement cracks at Sabal Point**



**Pavement overview at Shoregrass**





**Pavement cracks at Shoregrass**



**Pavement cracks at Shoregrass**



**Pavement cracks and previous repairs at Stillbrook**



**Pavement cracks at Stillbrook**



**Extensive patches at Stillbrook**



**Pavement overview at wind crest dr**





**Pavement overview at Stonecreek**

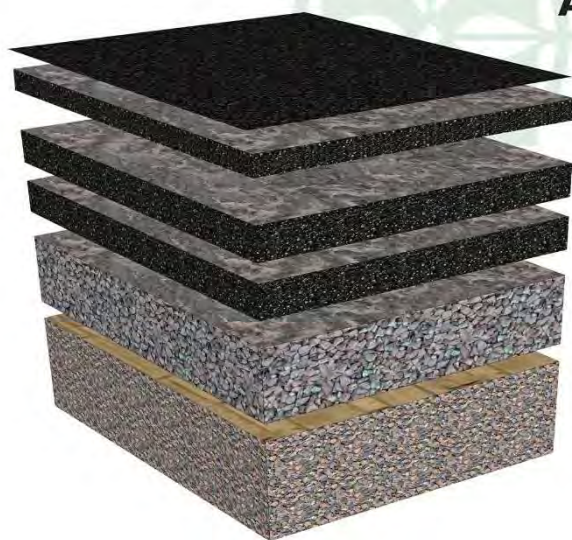


**Pavement cracks at Stonecreek**

**Useful Life:** 15- to 20-years with the benefit of patch repairs events every three- to five-years

**Component Detail Notes:** Proposals for seal coat applications should include crack repairs and patching. The contractor should only apply seal coat applications after repairs are completed. A seal coat does not bridge or close cracks; therefore, unrepaired cracks render the seal coat applications useless.

The initial installation of asphalt uses at least two lifts, or two separate applications of asphalt, over the base course. The first lift is the binder course. The second lift is the wearing course. The wearing course comprises a finer aggregate for a smoother, more watertight finish. The following diagram depicts the typical components although it may not reflect the actual configuration at Seven Oaks:



## ASPHALT DIAGRAM

**Sealcoat or Wearing Surface**

**Asphalt Overlay** Not to Exceed  
1.5 inch Thickness per Lift or Layer

**Original Pavement** Inspected and  
milled until sound pavement is found,  
usually comprised of two layers

**Compacted Crushed Stone  
or Aggregate Base**

**Subbase of Undisturbed  
Native Soils** Compacted to  
95% dry density

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The manner of repaving is either a mill and overlay or total replacement. A mill and overlay is a method of repaving where cracked, worn and failed pavement is mechanically removed or milled until sound pavement is found. A new layer of asphalt is overlaid atop the remaining base course of pavement. Total replacement includes the removal of all existing asphalt down to the base course of aggregate and native soil followed by the application of two or more new lifts of asphalt. We recommend mill and overlayment on asphalt pavement that exhibits normal deterioration and wear. We recommend total replacement of asphalt pavement that exhibits severe deterioration, inadequate drainage, pavement that has been overlaid multiple times in the past or where the configuration makes overlayment not possible. Based on the apparent visual condition and configuration of the asphalt pavement, we recommend the mill and overlay method of repaving at Seven Oaks.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect for settlement, large cracks and trip hazards, and ensure proper drainage
  - Repair areas which could cause vehicular damage such as potholes
- As needed:
  - Perform crack repairs and patching

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost includes an allowance for patching of up to two percent (2%) of the pavement. Our cost for milling and overlayment includes area patching of up to ten percent (10%).

## **Asphalt Pavement, Repaving, Walking Paths**

---

**Line Item:** 4.080

**Quantity:** The nature trail is comprised of the following

- 10,250 square yards of asphalt pavement
- 5,120 square feet of concrete walking paths adjacent to the boardwalks

**History:** The pavement is original with a second layer of asphalt pavement overlay installed at an unknown date. The concrete walking paths are at an unknown age.

**Condition:** Good to fair overall with isolated cracks and settlement





**Asphalt pavement walking path**



**Walking path cracks**



**Walking path cracks**



**Walking path cracks**



**Walking path cracks**



**Asphalt pavement walking path**





**Walking path cracks**

**Useful Life:** 15- to 20-years with the benefit of timely crack repairs and patching, and the need to maintain a safe pedestrian surface

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost includes an allowance for replacement of the concrete walking paths.

## **Boardwalks and Pilings, Wood**

---

**Line Items:** 4.098 and 4.099

**Quantity:** Approximately 18,250 square feet located at the 15 wood boardwalks at the nature trails

**History:** Original to 2004 to 2006 with isolated decking and handrail replacements

**Condition:** Fair overall with weathered deck boards and isolated damage evident





**Boardwalk overview**



**Typical boardwalk structure and pilings**



**Boardwalk overview**



**Weathered deck boards**



**Weathered deck boards**



**Weathered deck boards**





**Boardwalk overview**



**Typical wood railing**



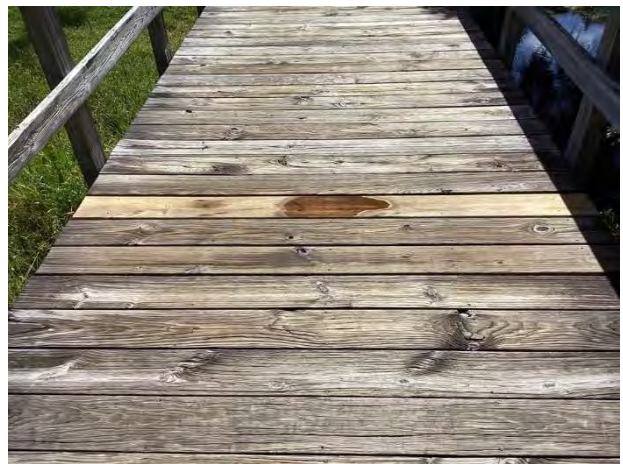
**Boardwalk overview**



**Damage at wood railing**



**Boardwalk overview**



**Recently replaced deck board**



**Useful Life:** Up to 30 years for complete replacement and up to 15 years for interim replacement of the decking and structure repairs

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost for repairs includes allowances for complete replacement of the decking and partial replacement of up to ten percent (10%) of the structural frame and pilings. Our estimate of cost for replacement includes for complete replacement of decking, structural frame, handrails and up to thirty-three percent (33%) of the pilings.

## Catch Basins

---

**Line Item:** 4.100

**Quantity:** 485 catch basins<sup>2</sup> located at the streets and parking lots in Seven Oaks communities, and common areas located throughout the community. Due to the Districts' responsibility for subsurface storm piping, the above quantity includes the 36 catch basins located in Lakeside Townhomes community.

**History:** Original to 2001 and 2013

**Condition:** Good to fair overall



Catch basin



Catch basin

<sup>2</sup> We utilize the terminology catch basin to refer to all storm water collection structures including curb inlets.





**Isolated debris**

**Useful Life:** The useful life of catch basins is up to 65 years. However, achieving this useful life usually requires interim capital repairs or partial replacements every 15- to 20-years.

**Component Detail Notes:** Erosion causes settlement around the collar of catch basins. Left unrepaired, the entire catch basin will shift and need replacement.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair any settlement and collar cracks
  - Ensure proper drainage and inlets are free of debris
  - If property drainage is not adequate in heavy rainfall events, typically bi-annual cleaning of the catch basins is recommended

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the District plan for inspections and capital repairs to the catch basins in conjunction with repaving.

## **Clock Tower**

---

**Line Item:** 4.105

**Quantity:** One clock tower at the roundabout located at Ancient Oak Blvd and Summergate Drive

**History:** Original to 2001

**Condition:** Reported satisfactory



**Clock tower overview**



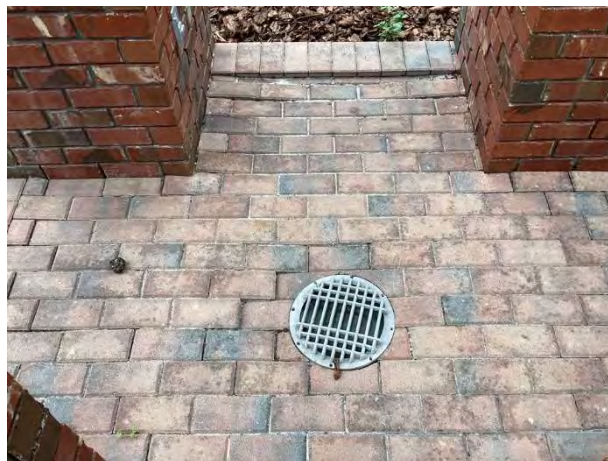
**Clock tower overview**



**Masonry at the clocktower**



**Masonry at the clocktower**



**Minor paver damage**

**Useful Life:** The useful life of the clock tower has an indeterminate useful life. We include for paint finishes applications and capital repairs or partial replacements every five- to seven-years.



**Component Detail Notes:** The clock tower consists of painted stucco and masonry brick walls, slate roof, windows and clock equipment.

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate includes for stucco paint finishes application and masonry brick inspection and capital repairs with each event. Due to the varying useful life of the remaining items, we include an allowance for replacement of one of the remaining elements with each event.

## Concrete Curbs and Gutters

---

**Line Item:** 4.110

**Quantity:** Approximately 283,800 linear feet in Seven Oaks communities, and common areas located throughout the community. This quantity includes the concrete banding located at the masonry street pavers and at the playgrounds. This quantity excludes the curbs and gutters located within the Lakeside Town Homes community, and parking and streets within retail and office properties owned by others.

**Condition:** Good to fair overall with periodic cracks evident



Concrete cracks



Concrete curb and gutter



**Concrete spalls**

**Useful Life:** Up to 65 years although interim deterioration of areas is common

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair major cracks, spalls and trip hazards
  - Mark with orange safety paint prior to replacement or repair
  - Repair or perform concrete leveling in areas in immediate need of repair or possible safety hazard

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We estimate that up to 49,665 linear feet of curbs and gutters, or eighteen percent (17.5%) of the total, will require replacement during the next 30 years.

## **Concrete Sidewalks**

---

**Line Item:** 4.140

**Quantity:** Approximately 894,800 square feet in Seven Oaks communities, and common areas located throughout the community. This quantity excludes the sidewalks located within the Lakeside Town Homes community, and within retail and office properties owned by others.

**Condition:** Good to fair overall with periodic cracks evident





**Concrete sidewalk**



**Concrete sidewalk**



**Sidewalk cracks**



**Sidewalk cracks**

**Useful Life:** Up to 65 years although interim deterioration of areas is common

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair major cracks, spalls and trip hazards
  - Mark with orange safety paint prior to replacement or repair
  - Repair or perform concrete leveling in areas in immediate need of repair or possible safety hazard

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We estimate that up to 138,694 square feet of concrete sidewalks, or sixteen percent (15.5%) of the total, will require replacement during the next 30 years.



## Fences, Aluminum

---

**Line Item:** 4.200

**Quantity:** 350 linear feet located at the Sable Point pond and Windcrest Drive south gate entrance

**History:** Original to 2011

**Condition:** Good to fair overall

**Useful Life:** Up to 25 years (The useful life of the finish is indeterminate. Future updates of this Reserve Study will again consider the need to refinish the railings based on condition.)

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair loose fasteners or sections, and damage
  - Repair leaning sections and clear vegetation from fence areas which could cause damage

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Fences, Vinyl

---

**Line Item:** 4.260

**Quantity:** Approximately 4,120 linear feet at the common retaining walls in Seven Oaks communities, and common areas located throughout the community.

**History:** Original to installation in 2005, 2006, 2008, 2011, and 2013.

**Condition:** Good to fair overall with finish stains and isolated damage evident





**Vinyl fence at Sabal Point**



**Vinyl fence damage at Sabal Point**



**Vinyl fence at Stillbrook**



**Vinyl fence at Stillbrook**

**Useful Life:** 15- to 20-years

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair loose panels, and damage
  - Repair leaning sections and clear vegetation from fence areas which could cause damage
  - Periodically clean vinyl fence as needed

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Guardrails, Common**

---

**Line Item:** 4.261

**Quantity:** Approximately 900 linear feet of guardrails at six separate locations in the Seven Oaks community.

**History:** Varying unknown ages

**Condition:** Good overall



**Guardrails at Windcrest drive**

**Useful Life:** Up to 35 years

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Irrigation System, Controllers, Common**

---

**Line Item:** 4.400

**Quantity:** 12

**History:** Varied ages with replacements last conducted in 2023.

**Condition:** Reported unsatisfactory with budgeted replacements

**Useful Life:** Up to 15 years

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer





**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost is based on information provided by the District.

## **Irrigation System, Pumps**

---

**Line Item:** 4.410

**Quantity:** Seven irrigation well pumps located throughout the community

**History:** The ages were unavailable at the time of our inspection.

**Condition:** Reported satisfactory without operational deficiencies

**Useful Life:** Up to 20 years

**Preventative Maintenance Notes:** The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology.

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Irrigation System, Replacement**

---

**Line Item:** 4.420

**Quantity:** Approximately 10,500 heads with 700 zones located at the common areas.

**History:** Original to installation beginning in 2001 and concluding in 2013.

**Condition:** Satisfactory operational condition and Management does not report any deficiencies

**Useful Life:** Up to and sometimes beyond 40 years

**Component Detail Notes:** Irrigation systems typically include the following components:

- Electronic controls (timer)
- Impact rotors
- Network of supply pipes
- Pop-up heads
- Valves

Seven Oaks should anticipate interim and partial replacements of the system network supply pipes and other components as normal maintenance to maximize the useful life of

the irrigation system. The District should fund these ongoing seasonal repairs through the operating budget.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
  - Conduct seasonal repairs which include valve repairs, controller repairs, partial head replacements and pipe repairs
  - Blow out irrigation water lines and drain building exterior faucets each fall if applicable

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Maintenance Building, Clubhouse

---

**Line Item:** 4.520

**Quantity:** One 30 foot by 30-foot pre-manufactured building located at the clubhouse area and utilized by the District's maintenance department.

**History:** Installed in 2021

**Condition:** Good overall



Maintenance building overview



Minor debris at maintenance building roof

**Useful Life:** Up to 35 years

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.



## Pavers, Masonry

---

**Line Items:** 4.620 and 4.621

**Quantity:** The District is responsible for the following pavers:

- Approximately 4,450 square feet of pedestrian pavers located at the community parks and playgrounds
- Approximately 76,050 square feet of vehicle pavers located at the community entrance streets, Ancient Oaks Blvd., and Summergate Blvd

**History:** Original to installation beginning in 2001 and concluding by 2013

**Condition:** Good to fair overall



**Pavers overview**



**Pavers overview**



**Paver cracks**



**Lakeside**





**Paver cracks**

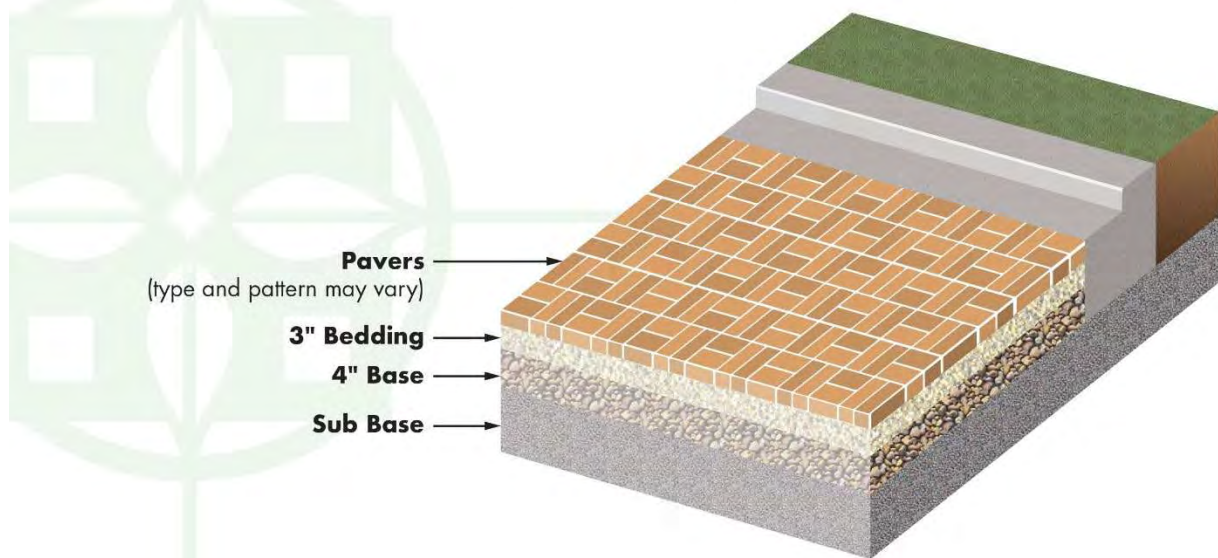


**Lakeside**

**Useful Life:** Up to 25 years for pedestrian pavers and 20- to 25-years for vehicle pavers.

**Component Detail Notes:** The following diagram depicts the typical components of a masonry paver system although it may not reflect the actual configuration at Seven Oaks:

## MASONRY PAVER DIAGRAM



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**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair settlement, trip hazards and paver spalls at heavy traffic areas





- Re-set and/or reseal damaged pavers as necessary
- Periodically clean and remove overgrown vegetation as needed

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We suggest the District conduct interim resetting and replacement of minor areas of pavers as normal maintenance, funded from the operating budget.

## **Pipes, Subsurface Utilities, Storm Drainage**

---

**Line Item:** 4.650

**Quantity:** Based on the layout and configuration of the property, we estimate up to 72,000 linear feet of subsurface storm water utility pipes at the catch basins.

**Condition:** Reported satisfactory

**Useful Life:** Up to and likely beyond 85 years

**Component Detail Notes:** The District maintains the subsurface utility pipes throughout the property. The exact amounts and locations of the subsurface utility pipes were not ascertained due to the nature of the underground construction and the non-invasive nature of the inspection.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- As-needed:
  - Video inspect storm water pipes for breaks and damaged piping
  - Partially replace damaged section of pipes

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. At this time, we do not anticipate replacement of continuous lengths of subsurface utility pipes. Rather, we recommend the District budget for repairs to isolated occurrences of damaged utilities. Although it is likely that the times of replacement and extent of repair costs may vary from the budgetary allowance, Seven Oaks could budget sufficient reserves for these utility repairs and have the opportunity to adjust its future reserves up or down to meet any changes to these budgetary estimates. Updates of this Reserve Study would incorporate changes to budgetary costs through a continued historical analysis of the rate of deterioration and actual repairs to budget sufficient reserves.

## Playground Arbors, Wood

**Line Item:** 4.659

**Quantity:** A total of 29 wood arbors located throughout the communities at the playgrounds, parks, nature trail, and north Ancient Oaks Blvd roundabout

**History:** Varying original beginning in 2001 to 2013

**Condition:** Good to fair with isolated damage and finish deterioration evident



Playground arbor



Playground arbor



Finish deterioration



Arbor damage

**Useful Life:** Up to 25 years

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Playground Equipment

---

**Line Items:** 4.660 through 4.663

**Quantity:** Playground equipment includes the following elements:

- Playsets
- Safety surface with concrete border
- Shade structures

**History:** Varying ages beginning in 2003 to 2013. We are informed the District replaced five playgrounds in 2022, and budgeted for replacement of three playgrounds in 2023.

The following table depicts the playground locations, date of installation or last replacement event, and projected year to budget for replacement. Performing annual conditional inspections and ongoing interim repairs will be important in determining the actual year of replacement.

Playground Locations	Year of original installation or latest replacement	Projected Replacement Year
Clubhouse	2025	2045
Copperleaf	2024	2044
Crosswinds	2025	2045
Knollpoint	2025	2045
Lakeside Town Homes	2023	2043
Willowstone	2005	2027
Grassglen	2024	2044
Stonecreek	2023	2026
Watermark	2024	2044
Sabal Point	2026	2046
Bella Field	2013	2032
Amberside	2022	2041
Brookforest	2022	2041
Coventry	2022	2041
Springwood	2022	2041
Stillbrook	2022	2041
Edenfield	2023	2042
Palmetto Bend	2023	2042
Shoregrass	2023	2042

**Condition:** Varying conditions. Majority of the playgrounds have been replaced in the last three years and are in good condition. We note isolated finish damage at the remaining original playgrounds.





**Playground equipment**



**Playground equipment overview at Amberside**



**Playground equipment overview at Edenfield**



**Playground equipment at Sabal Point**



**Playground equipment at Stillbrook**



**Playground equipment at Stone Creek**





**Playground equipment at Shoregrass**



**Equipment finish deterioration at Sabal Point**



**Shade structure – Clubhouse playground**



**Playground equipment– Clubhouse**



**Playground equipment– Clubhouse**



**Playground equipment– Clubhouse**





**Playground border**



**Playground equipment**



**Equipment finish deterioration at Sabal Point**



**Playground equipment at Amberside**



**Playground equipment– Clubhouse**



**Playground equipment– Clubhouse**





**Clubhouse playground equipment overview**



**Playground equipment– Clubhouse**



**Playground equipment– Clubhouse**



**Playground equipment– Clubhouse**

**Useful Life:** 15- to 20-years

**Component Detail Notes:** Safety is the major purpose for maintaining playground equipment. We recommend an annual inspection of the playground equipment to identify and repair as normal maintenance loose connections and fasteners or damaged elements. We suggest the District learn more about the specific requirements of playground equipment at [PlaygroundSafety.org](http://PlaygroundSafety.org). We recommend the use of a specialist for the design or replacement of the playground equipment environment.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair loose connections and fasteners or damaged elements
  - Inspect for safety hazards and adequate coverage of ground surface cover

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost is based on information provided by the District.

## **Pond, Aerator, Entrance Fountain**

---

**Line Item:** 4.700

**Quantity:** One aerator fountain

**History:** Original to installation 2011

**Condition:** Reported satisfactory



**Fountain aerator**

**Useful Life:** 10- to 15-years

**Component Detail Notes:** The use of small pumps, motors and aerators circulates pond water and increases the amount of entrained oxygen in the water, increasing water quality and reducing algae growths.

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.



## Ponds, Sediment Removal and Erosion Control

---

**Line Items:** 4.710 and 4.730

**Quantity:** The District is responsible for approximately 111 ponds throughout the communities. The ponds comprise the following:

- Approximately 759,500 square yards of water surface area,
- Approximately 125,000 linear feet of total shorelines, and
- Approximately 42,800 linear feet of shorelines adjacent to lots with homes.

**History:** Original. We are informed the District completed a partial shoreline remediation project including installation of shoreline rip rap, and stabilization in 2023. We have also been informed the District has budgeted for partial sediment removal in 2028.

**Condition:** Good to fair overall with isolated shoreline erosion.



Pond overview



Pond shoreline



Pond shoreline



Minor shoreline erosion





**Pond overview**



**Minor shoreline erosion**



**Pond shoreline**



**Pond shoreline**

**Useful Life:** Shorelines are subject to fluctuations in water levels, increased plant growth and migrating storm and ground water resulting in the need for erosion control measures up to every 15 years.

Based on the large quantity of ponds, we recommend the District anticipate the need for ongoing removal of pond sediment at isolated inlet, outlets and control devices, and the inspections and repairs of inlet, outlet and control devices up to every 15 years.

**Component Detail Notes:** The gradual build-up of natural debris, including tree leaves, branches and silt, may eventually change the topography of areas of the pond. Silt typically accumulates at inlets, outlets and areas of shoreline erosion. Sediment removal of ponds becomes necessary if this accumulation alters the quality of pond water or the functionality of the ponds as storm water management structures. Sediment removal is the optimal but also the most capital-intensive method of pond management. Excavation equipment used for sediment removal includes clamshells, draglines and suction pipelines. Sediment removal can also include shoreline regrading. Regrading includes removal of collapsed and eroded soil, and redefining the shoreline.



The steep shoreline embankments are likely to exacerbate soil movement and erosion. The use and maintenance of landscape, natural vegetation and/or stone rip rap along the pond shoreline will help maintain an attractive appearance and prevent soil erosion.

Shoreline plantings are referred to as buffer zones. Buffer zones provide the following advantages:

- Control insects naturally
- Create an aesthetically pleasing shoreline
- Enhance water infiltration and storage
- Filter nutrients and pollutants
- Increase fish and wildlife habitat
- Reduce lawn maintenance
- Stabilize shoreline and reduce erosion
- Trap sediments

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and remediate shoreline erosion and areas of sediment accumulation
  - Clear and remove debris and vegetation overgrowth at pond edges, and inlet and outlet structures
  - Inspect for algae blooms and remedy as needed through a chemical treatment program or aeration

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the District plan to install a combination of plantings and regrading around the ponds along 3,210 linear feet, or approximately eight percent (7.5%), of the shorelines per event. Our estimate of costs for the shoreline remediation in 2023 through 2028 is based on information provided by the District.

Due to the large quantity of ponds and for reserve budgeting purposes, we project the need to remove isolated sediment at inlet, outlet and control devices. Our estimate is based on removal of an average depth of one yard from approximately one percent (0.5%) of the surface. However, the actual volume of material to remove may vary dependent upon an invasive analysis at the time of removal. A visual inspection of a body of water cannot reveal the amount of accumulated silt. This is especially true on larger bodies of water. It is therefore inaccurate to assume an entire body of water will require sediment removal. It is more cost effective to spot remove in areas of intense silt accumulation as noted through bathymetric surveys. The amount or depth of silt is determined through prodding into the silt until a relatively solid base is found or through bathymetric surveys. A bathymetric survey establishes a base of data about the depth of the body of water over many locations against which the data of future surveys is compared. These invasive procedures are beyond the scope of a Reserve Study and require multiple visits to the site. We recommend Seven Oaks contract with a local engineer for periodic bathymetric



surveys. Future updates of the Reserve Study can incorporate future anticipated expenditures based on the results of the bathymetric surveys.

Unit costs per cubic yard to remove can vary significantly based on the type of equipment used, quantity of removed material and disposal of removed material. Sediment removal costs must also include mobilization, or getting the equipment to and from the site. Also, the portion of the overall cost to remove associated with mobilization varies based on the volume removed. Costs for sediment disposal also vary depending on the site. Compact sites will require hauling and in some cases disposal fees.

## **Retaining Walls, Masonry**

---

**Line Item:** 4.740

**Quantity:** Approximately 19,500 square feet at the 30 common retaining walls located throughout the community

**History:** The retaining walls were installed in 2005, 2006, 2008, 2011, and 2013.

**Condition:** Good overall with no significant deterioration evident.

**Useful Life:** Masonry retaining walls have indeterminate useful lives. However, we recommend the District plan for inspections and capital repairs every 10- to 15-years to forestall deterioration.

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost includes an allowance for an inspection, partial resetting and replacement of up to ten percent (10%). Updates of this Reserve Study will continue to monitor the rate of deterioration and incorporate any available inspection reports.

## **Signage, Fountain Renovation**

---

**Line Item:** 4.800

**Quantity:** Two SR56 entrance monuments with four fountain basins

**History:** Entrance monuments are original to 2001. The fountain basin protective coatings and mechanical equipment are of an unknown age.

**Condition:** Satisfactory operation condition with masonry grout deterioration evident





**Entrance monument**



**Typical fountain**



**Masonry columns and fences**



**Grout and masonry deterioration**



**Grout and masonry deterioration**



**Useful Life:** 15- to 20-years

**Component Detail Notes:** Community signage contributes to the overall aesthetic appearance of the property to owners and potential buyers. Renovation or replacement of community signs is often predicated upon the desire to "update" the perceived identity of the community rather than for utilitarian concerns. Therefore, the specific times for replacement or renovation are discretionary.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair damage, vandalism and loose components
  - Verify lighting is working properly
  - Touch-up paint finish applications if applicable

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost for renovation includes repairs to the masonry and applications of paint finish, replacement of up to thirty-three percent (33%) of the fencing and decorative inserts, and replacement of the remaining components listed above.

## **Signage, Renovation**

---

**Line Item:** 4.801

**Quantity:** The District is responsible for 50 entrance monuments throughout the community. The property identification signage includes the following elements:

- Light fixtures
- Fences
- Signage and letters
- Painted stucco
- Masonry walls and columns
- Decorative signs installed in the columns

**History:** Varying ages dating from 2001 to 2013

**Condition:** Good to fair overall with finish stains evident





**Typical masonry column and signage**



**Neighborhood entrance monument**



**Finish stains and grout deterioration**



**Neighborhood entrance monument**

**Useful Life:** 15- to 20-years

**Component Detail Notes:** Community signage contributes to the overall aesthetic appearance of the property to owners and potential buyers. Renovation or replacement of community signs is often predicated upon the desire to "update" the perceived identity of the community rather than for utilitarian concerns. Therefore, the specific times for replacement or renovation are discretionary.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair damage, vandalism and loose components
  - Verify lighting is working properly
  - Touch-up paint finish applications if applicable

**Priority:** Per Board discretion



**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost for renovation includes repairs to the masonry and replacement of the remaining components listed above.

## **Signage, Replacement, Street and Traffic**

---

**Line Item:** 4.810

**Quantity:** Approximately 375 sign assemblies including signage, posts, and decorative borders

**History:** Varying ages dating from 2001 to 2013.

**Condition:** Good to fair with finish deterioration evident



**Street signage**



**Sign finish deterioration**



**Street and traffic signage assembly**



**Sign finish deterioration**



**Sign finish deterioration**

**Useful Life:** Up to 25 years

**Component Detail Notes:** The community signs contribute to the overall aesthetic appearance of the property to owners and potential buyers. Replacement of community signs is often predicated upon the desire to "update" the perceived identity of the community rather than for utilitarian concerns. Therefore, the specific time for replacement of the signs is discretionary.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair damage, vandalism and loose components
  - Touch-up paint finish applications if applicable

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Site Furniture

---

**Line Item:** 4.820

**Quantity:** The District is responsible for site furniture located at playgrounds, parks and common areas throughout the community.

- Approximately 107 benches
- Five picnic tables
- 33 trash receptacles

**History:** Varying ages dating from 2001 to 2013

**Condition:** Good to fair overall with deterioration evident





**Site furniture**



**Benches**



**Benches**



**Site furniture**

**Useful Life:** 15- to 25-years

**Priority/Criticality:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3

## Sport Courts, Fences

**Line Items:** 4.840 and 4.841

**Quantity and History:** The District is responsible for the following:

- Approximately 350 linear feet of fence at the clubhouse basketball court. Replaced in 2017.
- Approximately 1,310 linear feet of fences at the clubhouse tennis courts. Replaced in 2019.

**Condition:** Good overall





**Chain link fence**



**Chain link fence**



**Fence finish deterioration**



**Chain link fence**



**Chain link fence**



**Chain link fence**

**Useful Life:** Up to 25 years

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.



## Sport Court, Light Poles and Fixtures

---

**Line Items:** 4.850 and 4.851

**Quantity:** The District is responsible for the following:

- Four light poles and four light fixtures at the clubhouse basketball court
- 16 light poles and 48 light fixtures at the clubhouse tennis courts

**History:** Original to 2003

**Condition:** Good overall condition



Light pole and fixture



Light pole and fixture



Light poles and fixtures



Light poles and fixtures

**Useful Life:** Up to 30 years

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Sport Courts, Basketball

---

**Line Items:** 4.860 and 4.861

**Quantity:** The District is responsible for the following:

- Approximately 6,700 square feet of concrete comprising one basketball court at the clubhouse. Original to installation in 2003.
- Approximately 17,100 square feet of concrete comprising 18 basketball courts located at the community playgrounds. Varying ages dating from 2001 to 2013.

**History:**

- Color Coat: Unknown. We are informed the District funds application of color coating through the operating budget
- Surface: Original to installation

**Condition:** Good overall with no significant deterioration



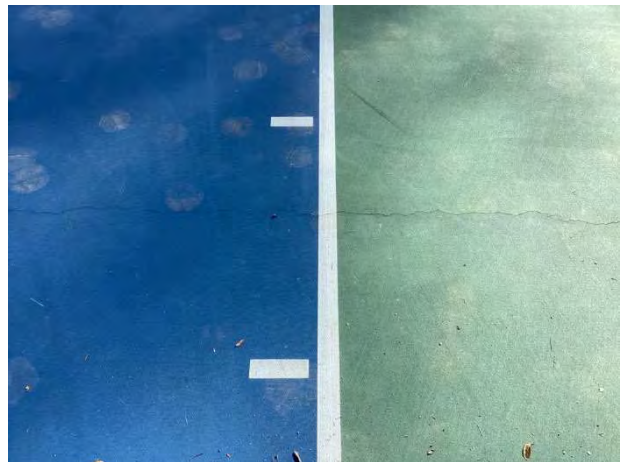
**Basketball court overview**



**Basketball court overview**



**Surface cracks**



**Surface cracks**





**Surface cracks at Edenfield**



**Basketball court overview**

**Useful Life:** Up to 40 years for replacement of the surface with the benefit of color coat applications and repairs every four- to six-years

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair large cracks, trip hazards and possibly safety hazards
  - Verify gate and fencing is secure
  - Verify lighting is working properly if applicable
  - Inspect and repair standards and windscreens as needed

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Sport Courts, Tennis, Clay, Scarify, Replenish and Laser Grade**

---

**Line Item:** 4.864

**Quantity:** Five courts

**History:** Scarified, replenished and laser graded in 2016.

**Condition:** Good overall condition.



**Clay tennis court overview**



**Clay tennis court surface**



**Areas of worn through clay surface**

**Useful Life:** Four- to six-years

**Component Detail Notes:** Clay tennis courts require scarifying, removal of compacted material, clay replenishments and laser regrading in order to maintain a safe playing surface.

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Sport Courts, Tennis, Clay, Surface**

---

**Line Item:** 4.865

**Quantity:** Five courts located at the clubhouse

**History:** Original to installation in 2003.

**Condition:** Reported satisfactory overall

**Useful Life:** Up to 35 years

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our cost for replacement includes an allowance for replacement of the subsurface irrigation system.

## **Vehicles, Maintenance Department**

---

**Line Items:** 4.965 and 4.966

**Quantity:** The District is responsible for the following:

- One Truck - 2006 Ford F-150 truck
- One utility cart - 2012 Cushman Hauler 1200
- Two utility carts - 2019 Cushman Hauler 800x
- One utility cart - 2019 Cushman Hauler 1200
- One utility cart – 2022 Polaris Ranger 500

**Condition:** Reported satisfactory



**Utility cart**

**Useful Life:** Up to 10 years for trucks and five- to 10-years for utility carts

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.



## Pool Elements



Pool overview



Pool overview

## Decks, Pavers

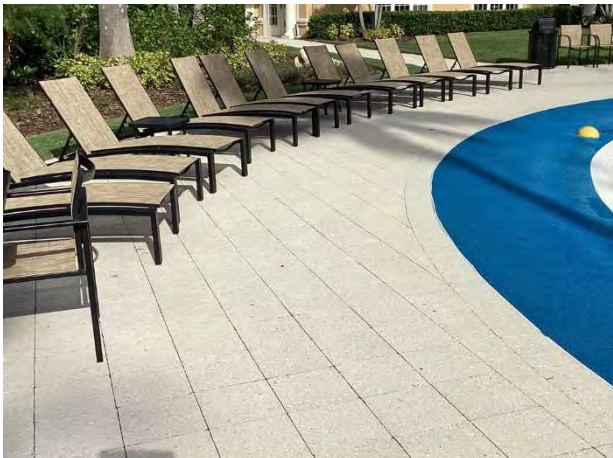
---

**Line Item:** 6.200

**Quantity:** Approximately 29,050 square feet. This quantity includes the wading pool deck pavers.

**History:** Original to installation in 2003

**Condition:** Good overall with minor stains evident



Paver pool deck overview



Paver pool deck overview

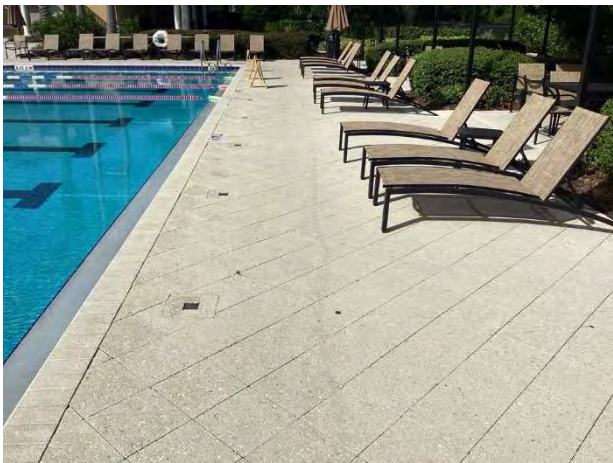




**Minor stains**



**Minor stains**



**Paver pool deck**



**Paver walkway**

**Useful Life:** 25- to 30-years

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair settlement, trip hazards and significant paver spall
  - Reset and/or reseal damaged pavers as necessary
  - Periodically clean and remove overgrown vegetation as needed

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the District fund interim inspections, partial replacements and repairs through the operating budget.



## Fences, Aluminum

---

**Line Item:** 6.400

**Quantity:** 1,550 linear feet

**History:** Original to 2003

**Condition:** Fair overall with finish deterioration, rust, and isolated leaning sections evident



**Aluminum fence at pool equipment**



**Fence finish deterioration**



**Fence leaning section**



**Fence finish deterioration**





**Hardware rust**



**Fence finish deterioration**

**Useful Life:** Up to 25 years

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Inspect and repair loose fasteners or sections, and damage
  - Repair leaning sections and clear vegetation from fence areas which could cause damage

**Priority:** Not recommended to defer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Furniture

---

**Line Item:** 6.500

**Quantity:** The pool furniture includes the following:

- Chairs
- Lounges
- Tables
- Ladders and life safety equipment

**History:** Replaced in 2025

**Condition:** Good overall



**Pool furniture**



**Pool furniture**



**Pool furniture**



**Pool furniture**



**Pool furniture**



**Useful Life:** Up to 12 years

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend interim re-strapping, refinishing, cushion replacements, reupholstering and other repairs to the furniture as normal maintenance to maximize its useful life. Our estimate of cost is based on information provided from the 2025 replacement.

## **Mechanical Equipment, Enclosures and Tanks**

---

**Line Items:** 6.600 through 6.604

**Quantity and History:** The pools' fiberglass mechanical equipment enclosures house pumps, filters, and controls:

- Lap pool enclosures and filter tanks were replaced in 2022
- Resort pool enclosure and filter tank were replaced in 2021
- Splash park pool enclosures is budgeted for replacement by 2026
- Wading pool equipment enclosures is budgeted for replacement by 2026
- Water slide holding tank is was repaired in 2023

**Condition:** The lap pool and resort mechanical enclosures are good overall. The splash park pool and wading pool mechanical enclosures are reported unsatisfactory. The water slide holding tank is reported unsatisfactory with repairs budgeted.



**Pool mechanical equipment**



**Pool mechanical equipment**





**Typical enclosure**



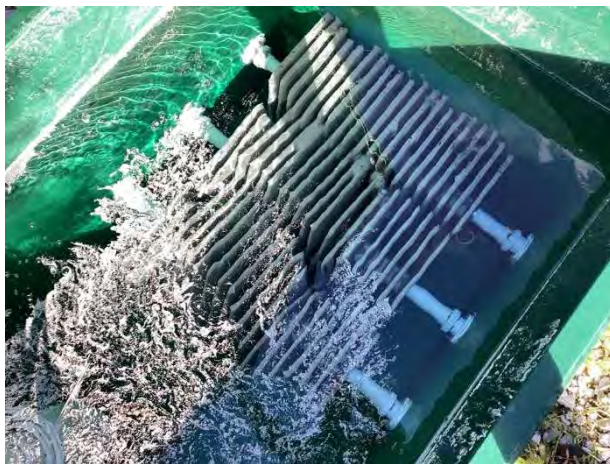
**Pool pumps and filters**



**Pool pumps and filters**



**Rust at panels**



**Disk filters**



**Electrical panels**





**Corrosion at pump**



**Pump systems**

**Useful Life:** Up to 15 years

**Preventative Maintenance Notes:** We recommend the District maintain a maintenance contract with a qualified professional and follow the manufacturer's specific recommended maintenance and local, state and/or federal inspection guidelines.

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the *Reserve Expenditures* table in Section 3. We consider interim replacement of motors and minor repairs as normal maintenance.

## **Mechanical Equipment, Geothermal Heaters**

---

**Line Item:** 6.605

**Quantity:** 12 geothermal pool heaters for the lap, resort, splash park and wading pools

**History:** Installed in 2022. We are informed that the remaining mechanical equipment including controls and pumps are to be replaced on as needed basis and funded through the operating budget.

**Condition:** Reported satisfactory overall



**Pool heaters**



**Pool heaters**



**Typical heater**

**Useful Life:** Up to 15 years

**Preventative Maintenance Notes:** We recommend the District maintain a maintenance contract with a qualified professional and follow the manufacturer's specific recommended maintenance and local, state and/or federal inspection guidelines.

**Priority/Criticality:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## **Pool Finishes, Plaster and Tile**

---

**Line Items:** 6.800 through 6.807

**Quantity:** The District is responsible for the following:

- Lap pool – Approximately 4,930 square feet of plaster based on the horizontal surface area and approximately 810 linear feet of tile



- Resort pool – Approximately 3,160 square feet of plaster based on the horizontal surface area and approximately 270 linear feet of tile
- Splash Park pool – Approximately 1,680 square feet of plaster based on the horizontal surface area and approximately 50 linear feet of tile
- Wading pool – Approximately 170 square feet of plaster based on the horizontal surface area and approximately 50 linear feet of tile

**History:**

- Plaster finish: Replaced in 2020
- Tile: Replaced in 2020

**Condition:** Good overall



**Pool plaster overview**



**Pool plaster overview**



**Pool plaster overview**



**Pool plaster finish with tile perimeter**



**Wading pool finish**



**Wading pool finish**



**Pool plaster overview**



**Pool plaster finish with tile perimeter**

**Useful Life:** 8- to 12-years for the plaster and 15- to 25-years for the tile

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
  - Inspect and patch areas of significant plaster delamination, coping damage and structure cracks
  - Inspect main drain connection and anti-entrapment covers, pressure test circulation piping and valves
  - Test handrails and safety features for proper operation

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the District budget for full tile and coping replacement every other plaster replacement event. Removal and replacement of the finish provides the opportunity to inspect the pool structures and to allow for partial repairs of the underlying concrete surfaces as needed. To maintain the integrity of the pool structures, we recommend the District budget for the following:



- Removal and replacement of the plaster finishes
- Partial replacements of the scuppers and coping as needed
- Replacement of tiles as needed
- Replacement of joint sealants as needed
- Concrete structure repairs as needed

## Shade Structures

---

**Line Items:** 6.865 and 6.870

**Quantity:** 18, this quantity includes the awnings at the tennis courts.

**History:**

- Canvas: Varying ages
- Frame: Original to 2003

**Condition:** Good to fair overall with isolated damage evident



**Shade structure overview**



**Minor frame finish deterioration**



**Minor canvas damage**



**Shade structure overview**



**Useful Life:** Up to 25 years with interim replacement of the canvas every six- to eight-years

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Water Feature, Splash Pad

---

**Line Items:** 6.950 and 6.960

**Quantity:** 450 square feet of rubber surface and 15 water features with associated piping

**History:** Renovated in 2024

**Conditions:** Reported satisfactory



**Splash pad overview**



**Water feature**

**Useful Life:** Splash pad surface and water features every four- to six-years and up to 15 years, respectively

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
  - Drain all lines if applicable
  - Inspect and repair loose connections and fasteners or damaged elements. Check feature accessories for excessive wear.
  - Clean periodically
  - Verify drains are working properly

**Priority:** Per Board discretion

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## Water Slide, Fiberglass

**Line Items:** 6.975 and 6.980

**Quantity:** One

**History:** Original to 2003. We are informed the water slide was refinished in 2020. We are informed that the water slide stair tower and slide structure are regularly painted by the District maintenance staff funded through the operating budget.

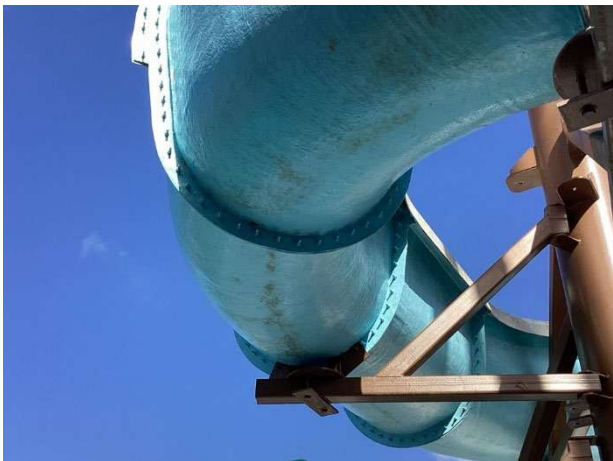
**Conditions:** Good overall with isolated paint finish deterioration



Water slide overview



Water slide overview



Water slide overview



Water slide staircase





**Water slide staircase**



**Water slide surface**

**Useful Life:** Replacement at up to 25 years and refinishing every 10- to 15-years

**Component Detail Notes:** Safety is the major purpose for maintaining the water slide. We recommend an annual inspection of the water slide to identify and repair as normal maintenance loose connections and fasteners or damaged elements. We recommend the use of a specialist for the design or replacement of the water slide environment.

**Preventative Maintenance Notes:** We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Weekly:
  - Inspect and repair loose connections and fasteners or damaged elements. Check handrails for stability.
  - Inspect for safety hazards
- Annually:
  - Drain all lines if applicable
  - Clean with non-abrasive cleaner and wax as needed
  - Reseal joints as needed

**Priority:** Defer only upon opinion of independent professional or engineer

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

## 2026 Reserve Expenditures

---

**Line Item:** 10.000

**Component Detail Notes:** Seven Oaks will expend \$2,435,682 in reserve expenditures in 2026. These expenditures relate to the repaving of Ancient Oaks Boulevard.

**Expenditure Detail Notes:** Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.





## **Reserve Study Update**

An ongoing review by the Board and an Update of this Reserve Study are necessary to ensure an equitable funding plan since a Reserve Study is a snapshot in time. Many variables change after the study is conducted that may result in significant overfunding or underfunding the reserve account. Variables that may affect the Reserve Funding Plan include, but are not limited to:

- Deferred or accelerated capital projects based on Board discretion
- Changes in the interest rates on reserve investments
- Changes in the *local* construction inflation rate
- Additions and deletions to the Reserve Component Inventory
- The presence or absence of maintenance programs
- Unusually mild or extreme weather conditions
- Technological advancements

Periodic updates incorporate these variable changes since the last Reserve Study or Update. The District can expense the fee for an Update with site visit from the reserve account. This fee is included in the Reserve Funding Plan. We base this budgetary amount on updating the same property components and quantities of this Reserve Study report. We recommend the Board budget for an Update to this Reserve Study every three years. Budgeting for an Update demonstrates the Board's objective to continue fulfilling its fiduciary responsibility to maintain the commonly owned property and to fund reserves appropriately.

## 5.METHODOLOGY

Reserves for replacement are the amounts of money required for future expenditures to repair or replace Reserve Components that wear out before the entire facility or project wears out. Reserving funds for future repair or replacement of the Reserve Components is also one of the most reliable ways of protecting the value of the property's infrastructure and marketability.

Seven Oaks can fund capital repairs and replacements in any combination of the following:

1. Increases in the operating budget during years when the shortages occur
2. Loans using borrowed capital for major replacement projects
3. Level monthly reserve assessments annually adjusted upward for inflation to increase reserves to fund the expected major future expenditures
4. Special assessments

We do not advocate special assessments or loans unless near term circumstances dictate otherwise. Although loans provide a gradual method of funding a replacement, the costs are higher than if the District were to accumulate reserves ahead of the actual replacement. Interest earnings on reserves also accumulate in this process of saving or reserving for future replacements, thereby defraying the amount of gradual reserve collections. We advocate the third method of *Level Monthly Reserve Assessments* with relatively minor annual adjustments. The method ensures that Owners pay their "fair share" of the weathering and aging of the commonly owned property each year. Level reserve assessments preserve the property and enhance the resale value of the homes.

This Reserve Study is in compliance with and exceeds the National standards<sup>1</sup> set forth by the Association of Professional Reserve Analysts (APRA) fulfilling the requirements of a "Level II Reserve Study Update." These standards require a Reserve Component to have a "predictable remaining Useful Life." Estimating Remaining Useful Lives and Reserve Expenditures beyond 30 years is often indeterminate. Long-Lived Property Elements are necessarily excluded from this analysis. We considered the following factors in our analysis:

- The Cash Flow Method to compute, project and illustrate the 30-year Reserve Funding Plan
- Local<sup>2</sup> costs of material, equipment and labor
- Current and future costs of replacement for the Reserve Components
- Costs of demolition as part of the cost of replacement
- Local economic conditions and a historical perspective to arrive at our estimate of long-term future inflation for construction costs in Wesley Chapel, Florida at an annual inflation rate<sup>3</sup>. Isolated or regional markets of

<sup>1</sup> Identified in the APRA "Standards - Terms and Definitions" and the CAI "Terms and Definitions".

<sup>2</sup> See Credentials for additional information on our use of published sources of cost data.

<sup>3</sup> Derived from Marshall & Swift, historical costs and the Bureau of Labor Statistics.

greater construction (development) activity may experience slightly greater rates of inflation for both construction materials and labor.

- The past and current maintenance practices of Seven Oaks and their effects on remaining useful lives
- Financial information provided by the District pertaining to the cash status of the reserve fund and budgeted reserve contribution
- The anticipated effects of appreciation of the reserves over time in accord with a return or yield on investment of your cash equivalent assets. (We did not consider the costs, if any, of Federal and State Taxes on income derived from interest and/or dividend income).
- The Funding Plan excludes necessary operating budget expenditures. It is our understanding that future operating budgets will provide for the ongoing normal maintenance of Reserve Components.

Updates to this Reserve Study will continue to monitor historical facts and trends concerning the external market conditions.





## 6. CREDENTIALS

### HISTORY AND DEPTH OF SERVICE

Founded in 1991, Reserve Advisors is the leading provider of reserve studies, insurance appraisals, developer turnover transition studies, expert witness services, and other engineering consulting services. Clients include community associations, resort properties, hotels, clubs, non-profit organizations, apartment building owners, religious and educational institutions, and office/commercial building owners in 48 states, Canada and throughout the world.

The **architectural engineering consulting firm** was formed to take a leadership role in helping fiduciaries, boards, and property managers manage their property like a business with a long-range master plan known as a Reserve Study.

Reserve Advisors employs the **largest staff of Reserve Specialists** with bachelor's degrees in engineering dedicated to Reserve Study services. Our founders are also founders of Community Associations Institute's (CAI) Reserve Committee that developed national standards for reserve study providers. One of our founders is a Past President of the Association of Professional Reserve Analysts (APRA). Our vast experience with a variety of building types and ages, on-site examination and historical analyses are keys to determining accurate remaining useful life estimates of building components.

**No Conflict of Interest** - As consulting specialists, our **independent opinion** eliminates any real or perceived conflict of interest because we do not conduct or manage capital projects.

### TOTAL STAFF INVOLVEMENT

Several staff members participate in each assignment. The responsible advisor involves the staff through a Team Review, exclusive to Reserve Advisors, and by utilizing the experience of other staff members, each of whom has served hundreds of clients. We conduct Team Reviews, an internal quality assurance review of each assignment, including: the inspection; building component costing; lifing; and technical report phases of the assignment. Due to our extensive experience with building components, we do not have a need to utilize subcontractors.

### OUR GOAL

To help our clients fulfill their fiduciary responsibilities to maintain property in good condition.

### VAST EXPERIENCE WITH A VARIETY OF BUILDINGS

Reserve Advisors has conducted reserve studies for a multitude of different communities and building types. We've analyzed thousands of buildings, from as small as a 3,500-square foot day care center to a 2,600,000-square foot 98-story highrise. We also routinely inspect buildings with various types of mechanical systems such as simple electric heat, to complex systems with air handlers, chillers, boilers, elevators, and life safety and security systems.

We're familiar with all types of building exteriors as well. Our well-versed staff regularly identifies optimal repair and replacement solutions for such building exterior surfaces such as adobe, brick, stone, concrete, stucco, EIFS, wood products, stained glass and aluminum siding, and window wall systems.

### OLD TO NEW

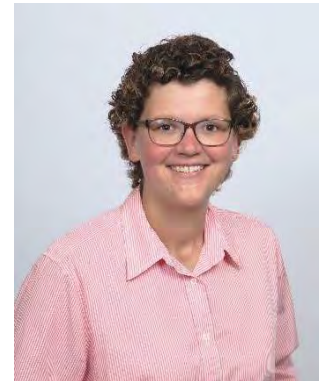
Reserve Advisors' experience includes ornate and vintage buildings as well as modern structures. Our specialists are no strangers to older buildings. We're accustomed to addressing the unique challenges posed by buildings that date to the 1800's. We recognize and consider the methods of construction employed into our analysis. We recommend appropriate replacement programs that apply cost effective technologies while maintaining a building's character and appeal.



**JENNIFER L. BERRY, RS**  
**Responsible Advisor**

**CURRENT CLIENT SERVICES**

Jennifer L. Berry, a Mechanical Engineer, is an Advisor for Reserve Advisors, LLC. Ms. Berry is responsible for the inspection and analysis of the condition of clients' property, and recommending engineering solutions to prolong the lives of the components. She also forecasts capital expenditures for the repair and/or replacement of the property components and prepares technical reports on assignments. She is responsible for conducting Life Cycle Cost Analyses and Capital Replacement Forecast services and the preparation of Reserve Study Reports for condominiums, townhomes and homeowner associations.



The following is a partial list of clients served by Jennifer Berry demonstrating her breadth of experiential knowledge of community associations in construction and related buildings systems.

**Branch Creek Phase 2A Townhome Association** This townhome community is located in Summerville, South Carolina and comprises 44 residential units in 11 buildings. The townhomes were constructed with fiber cement siding, asphalt shingle roofs, masonry facades, and screen-enclosed patios. The Association also maintains asphalt pavement, sidewalks, driveways, a pond, and a wood pedestrian bridge.

**Turtle Point Villas II Horizontal Property Regime** Located in Kiawah Island, South Carolina, this condominium style development consists of 53 units in eight buildings. Built in 1985, these buildings were constructed with wood siding, cedar shakes roofs, wood staircases, wood balconies, and five hydraulic elevators.

**The Hamptons at Northcross Downs Homeowners Association** This development in Huntersville, North Carolina is comprised of 371 single family homes. The Association maintains two clubhouses, two pools, two playgrounds, tennis courts, masonry perimeter walls and asphalt pavement.

**Kensington South Condominium Association** A townhome development comprised of 77 units in eight buildings that were constructed with fiber cements siding and asphalt shingle roofs. Located in Gainesville, Florida, this community also maintains a clubhouse, pool, multiple perimeter fences, a concrete retaining wall and asphalt pavement.

**Cresswind at the Ponds Community Association** This single family home community located just outside of Charleston, South Carolina will comprise over 600 homes upon its anticipated completion in 2025. Amenities in this community include a luxurious clubhouse, tennis and pickleball courts as well as a pool and spa. The Association also maintains asphalt pavement streets, masonry retaining walls throughout the community and multiple ponds.

**PRIOR RELEVANT EXPERIENCE**

Before joining Reserve Advisors, LLC, Ms. Berry successfully completed the bachelors program in Mechanical Engineering from Virginia Tech. She has experience as a Mechanical Design Engineer for an industrial refrigeration company where she gained knowledge in the design and manufacturing of specialized large-scale refrigeration systems in coordination with building construction projects.

**EDUCATION**

Virginia Tech - B.S. Mechanical Engineering

**PROFESSIONAL AFFILIATIONS / DESIGNATIONS**

*Engineer in Training (EIT)* – Virginia, 2016

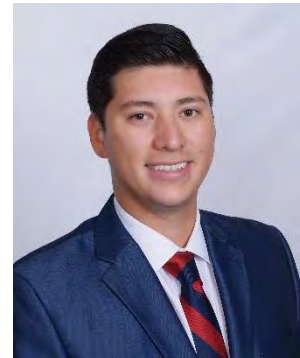
*Reserve Specialist (RS)* - Community Associations Institute



**JORDAN M. ROSALES, RS**  
**Regional Engineering Manager and Quality Assurance Engineer**  
**Responsible Advisor**

**CURRENT CLIENT SERVICES**

Jordan M Rosales, an Engineer, is an Advisor for Reserve Advisors. Mr. Rosales is responsible for the inspection and analysis of the condition of clients' property, recommending engineering solutions to prolong the lives of the components, forecasting capital expenditures for the repair and/or replacement of the property components, and preparation of technical reports on assignments. He is responsible for conducting Life Cycle Cost Analysis and Capital Replacement Forecast services and the preparation of Reserve Study Reports for condominiums, townhomes, and homeowner associations.



The following is a partial list of clients served by Jordan Rosales demonstrating the breadth of experiential knowledge of community associations in construction and related buildings systems.

**Copper Lakes Homeowners Association** is a large homeowners association located in Houston, Texas consisting of over 1,400 homes. The sprawling property features two pools, six playgrounds, three ponds, tennis courts, a spacious clubhouse, and extensive site infrastructure.

**2208 Post Office Condominium Association, Inc.** is in Galveston, Texas. The 1920's historical building was converted to condominiums in 2008. The peculiar building consists of a thermoplastic roof, parking garage housing the original timber columns, hydraulic elevators and various mechanical equipment, and a grand atrium.

**Park Regency Condominium Association, Inc.** is a Highrise condominium community located in Atlanta, Georgia which consists of 143 units in a 26-story building. The modern architecture includes of a complex curtain wall and waterproof system to create a variety of challenging maintenance and replacement needs.

**121 Community Church, Inc.** is a Congregational church located in Grapevine, Texas, and comprises of over 100,000 square feet of worship space, classrooms, and complex performance and musical recording equipment.

**Ronald McDonald House – Denpasar** is a modern temporary housing construction located in Bali, Indonesia. The House consists of 25 guest bedrooms, common areas, and an office. The exterior of the building comprises painted concrete walls, aluminum frame windows and doors, and a concrete and clay tile roof. The components were estimated in the local currency and translated for implementation.

**PRIOR RELEVANT EXPERIENCE**

Mr. Rosales earned his Bachelor of Science degree in Petroleum Engineering from Louisiana State University. His studies largely focused on application of the principles of science and mathematics to develop cost-effective solutions to technical problems. Before joining Reserve Advisors, Mr. Rosales was a Production Enhancement Engineer where he helped optimize oil and gas wells in West Texas and New Mexico. Mr. Rosales has also worked in the industrial general contracting space as a Design Build Manager and completed multiple warehouse construction projects.

**EDUCATION**

Louisiana State University– B.S. Petroleum Engineering

**PROFESSIONAL AFFILIATIONS**

Reserve Specialist (RS) - Community Associations Institute



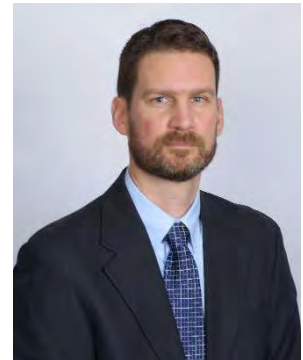


**ALAN M. EBERT, P.E., PRA, RS**  
**Director of Quality Assurance**

**CURRENT CLIENT SERVICES**

Alan M. Ebert, a Professional Engineer, is the Director of Quality Assurance for Reserve Advisors. Mr. Ebert is responsible for the management, review and quality assurance of reserve studies. In this role, he assumes the responsibility of stringent report review analysis to assure report accuracy and the best solution for Reserve Advisors' clients.

Mr. Ebert has been involved with thousands of Reserve Study assignments. The following is a partial list of clients served by Alan Ebert demonstrating his breadth of experiential knowledge of community associations in construction and related buildings systems.



**Brownsville Winter Haven** Located in Brownsville, Texas, this unique homeowners association contains 525 units. The Association maintains three pools and pool houses, a community and management office, landscape and maintenance equipment, and nine irrigation canals with associated infrastructure.

**Rosemont Condominiums** This unique condominium is located in Alexandria, Virginia and dates to the 1940's. The two mid-rise buildings utilize decorative stone and brick masonry. The development features common interior spaces, multi-level wood balconies and common asphalt parking areas.

**Stillwater Homeowners Association** Located in Naperville, Illinois, Stillwater Homeowners Association maintains four tennis courts, an Olympic sized pool and an upscale ballroom with commercial-grade kitchen. The community also maintains three storm water retention ponds and a detention basin.

**Birchfield Community Services Association** This extensive Association comprises seven separate parcels which include 505 townhome and single family homes. This Community Services Association is located in Mt. Laurel, New Jersey. Three lakes, a pool, a clubhouse and management office, wood carports, aluminum siding, and asphalt shingle roofs are a few of the elements maintained by the Association.

**Oakridge Manor Condominium Association** Located in Londonderry, New Hampshire, this Association includes 104 units at 13 buildings. In addition to extensive roads and parking areas, the Association maintains a large septic system and significant concrete retaining walls.

**Memorial Lofts Homeowners Association** This upscale high rise is located in Houston, Texas. The 20 luxury units include large balconies and decorative interior hallways. The 10-story building utilizes a painted stucco facade and TPO roof, while an on-grade garage serves residents and guests.

**PRIOR RELEVANT EXPERIENCE**

Mr. Ebert earned his Bachelor of Science degree in Geological Engineering from the University of Wisconsin-Madison. His relevant course work includes foundations, retaining walls, and slope stability. Before joining Reserve Advisors, Mr. Ebert was an oilfield engineer and tested and evaluated hundreds of oil and gas wells throughout North America.

**EDUCATION**

University of Wisconsin-Madison - B.S. Geological Engineering

**PROFESSIONAL AFFILIATIONS/DESIGNATIONS**

*Professional Engineering License* – Wisconsin, North Carolina, Illinois, Colorado

*Reserve Specialist (RS)* - Community Associations Institute

*Professional Reserve Analyst (PRA)* - Association of Professional Reserve Analysts



## RESOURCES

Reserve Advisors utilizes numerous resources of national and local data to conduct its Professional Services. A concise list of several of these resources follows:

**Association of Construction Inspectors**, (ACI) the largest professional organization for those involved in construction inspection and construction project management. ACI is also the leading association providing standards, guidelines, regulations, education, training, and professional recognition in a field that has quickly become important procedure for both residential and commercial construction, found on the web at [www.iami.org](http://www.iami.org).

**American Society of Heating, Refrigerating and Air-Conditioning Engineers, Inc.**, (ASHRAE) the American Society of Heating, Refrigerating and Air-Conditioning Engineers, Inc., devoted to the arts and sciences of heating, ventilation, air conditioning and refrigeration; recognized as the foremost, authoritative, timely and responsive source of technical and educational information, standards and guidelines, found on the web at [www.ashrae.org](http://www.ashrae.org). Reserve Advisors actively participates in its local chapter and holds individual memberships.

**Community Associations Institute**, (CAI) America's leading advocate for responsible communities noted as the only national organization dedicated to fostering vibrant, responsive, competent community associations. Their mission is to assist community associations in promoting harmony, community, and responsible leadership.

**Marshall & Swift / Boeckh**, (MS/B) the worldwide provider of building cost data, co-sourcing solutions, and estimating technology for the property and casualty insurance industry found on the web at [www.marshallswift.com](http://www.marshallswift.com).

**R.S. Means CostWorks**, North America's leading supplier of construction cost information. As a member of the Construction Market Data Group, Means provides accurate and up-to-date cost information that helps owners, developers, architects, engineers, contractors and others to carefully and precisely project and control the cost of both new building construction and renovation projects found on the web at [www.rsmeans.com](http://www.rsmeans.com).

Reserve Advisors' library of numerous periodicals relating to reserve studies, condition analyses, chapter community associations, and historical costs from thousands of capital repair and replacement projects, and product literature from manufacturers of building products and building systems.

## 7. DEFINITIONS

Definitions are derived from the standards set forth by the Community Associations Institute (CAI) representing America's 305,000 condominium and homeowners associations and cooperatives, and the Association of Professional Reserve Analysts, setting the standards of care for reserve study practitioners.

**Cash Flow Method** - A method of calculating Reserve Contributions where contributions to the reserve fund are designed to offset the variable annual expenditures from the reserve fund. Different Reserve Funding Plans are tested against the anticipated schedule of reserve expenses until the desired funding goal is achieved.

**Component Method** - A method of developing a Reserve Funding Plan with the total contribution is based on the sum of the contributions for individual components.

**Current Cost of Replacement** - That amount required today derived from the quantity of a *Reserve Component* and its unit cost to replace or repair a Reserve Component using the most current technology and construction materials, duplicating the productive utility of the existing property at current *local* market prices for *materials*, *labor* and manufactured equipment, contractors' overhead, profit and fees, but without provisions for building permits, overtime, bonuses for labor or premiums for material and equipment. We include removal and disposal costs where applicable.

**Fully Funded Balance** - The Reserve balance that is in direct proportion to the fraction of life "used up" of the current Repair or Replacement cost similar to Total Accrued Depreciation.

**Funding Goal (Threshold)** - The stated purpose of this Reserve Study is to determine the adequate, not excessive, minimal threshold reserve balances.

**Future Cost of Replacement** - *Reserve Expenditure* derived from the inflated current cost of replacement or current cost of replacement as defined above, with consideration given to the effects of inflation on local market rates for materials, labor and equipment.

**Long-Lived Property Component** - Property component of Seven Oaks responsibility not likely to require capital repair or replacement during the next 30 years with an unpredictable remaining Useful Life beyond the next 30 years.

**Percent Funded** - The ratio, at a particular point of time (typically the beginning of the Fiscal Year), of the actual (or projected) Reserve Balance to the Fully Funded Balance, expressed as a percentage.

**Remaining Useful Life** - The estimated remaining functional or useful time in years of a *Reserve Component* based on its age, condition and maintenance.

**Reserve Component** - Property elements with: 1) Seven Oaks responsibility; 2) limited Useful Life expectancies; 3) predictable Remaining Useful Life expectancies; and 4) a replacement cost above a minimum threshold.

**Reserve Component Inventory** - Line Items in **Reserve Expenditures** that identify a *Reserve Component*.

**Reserve Contribution** - An amount of money set aside or *Reserve Assessment* contributed to a *Reserve Fund* for future *Reserve Expenditures* to repair or replace *Reserve Components*.

**Reserve Expenditure** - Future Cost of Replacement of a Reserve Component.

**Reserve Fund Status** - The accumulated amount of reserves in dollars at a given point in time, i.e., at year end.

**Reserve Funding Plan** - The portion of the Reserve Study identifying the *Cash Flow Analysis* and containing the recommended Reserve Contributions and projected annual expenditures, interest earned and reserve balances.

**Reserve Study** - A budget planning tool that identifies the current status of the reserve fund and a stable and equitable Funding Plan to offset the anticipated future major common area expenditures.

**Useful Life** - The anticipated total time in years that a *Reserve Component* is expected to serve its intended function in its present application or installation.





## 8. PROFESSIONAL SERVICE CONDITIONS

**Our Services** - Reserve Advisors, LLC ("RA") performs its services as an independent contractor in accordance with our professional practice standards and its compensation is not contingent upon our conclusions. The purpose of our reserve study is to provide a budget planning tool that identifies the current status of the reserve fund, and an opinion recommending an annual funding plan, to create reserves for anticipated future replacement expenditures of the subject property. The purpose of our energy benchmarking services is to track, collect and summarize the subject property's energy consumption over time for your use in comparison with other buildings of similar size and establishing a performance baseline for your planning of long-term energy efficiency goals. The purpose of our Milestone Phase I is to evaluate the structural integrity of the building on the subject property and provide an inspection report summarizing our findings related to structural issues, or lack thereof.

In each case, our inspection and analysis of the subject property is limited to visual observations, is noninvasive and is not meant to nor does it include investigation into statutory, regulatory or code compliance. RA inspects sloped roofs from the ground and inspects flat roofs where safe access (stairs or ladder permanently attached to the structure) is available. Our energy benchmarking services with respect to the subject property is limited to collecting energy and utility data and summarizing such data in the form of an Energy Star Portfolio Manager Report or any other similar report, and hereby expressly excludes any recommendations with respect to the results of such energy benchmarking services or the accuracy of the energy information obtained from utility companies and other third-party sources with respect to the subject property. Our Milestone Phase I inspections are limited to a visual examination of habitable and uninhabitable areas of the building, including the primary structural members and systems. The inspection aims to determine the presence of substantial structural deterioration, and unsafe or dangerous conditions with the structure. The reserve report, Milestone Phase 1 report, and any energy benchmarking report (i.e., any Energy Star Portfolio Manager Report) (including any subsequent revisions thereto pursuant to the terms hereof, collectively, the "Report") are based upon a "snapshot in time" at the moment of inspection. RA may note visible physical defects in the Report. The inspection is made by employees generally familiar with real estate and building construction. Except to the extent readily apparent to RA, RA cannot and shall not opine on the structural integrity of or other physical defects in the property under any circumstances. Without limitation to the foregoing, RA cannot and shall not opine on, nor is RA responsible for, the property's conformity to specific governmental code requirements for fire, building, earthquake, occupancy or otherwise.

RA is not responsible for conditions that have changed between the time of inspection and the issuance of the Report. RA does not provide invasive testing on any mechanical systems that provide energy to the property, nor can RA opine on any system components that are not easily accessible during the inspection. RA does not investigate, nor assume any responsibility for any existence or impact of any hazardous materials, such as asbestos, urea-formaldehyde foam insulation, other chemicals, toxic wastes, environmental mold or other potentially hazardous materials or structural defects that are latent or hidden defects which may or may not be present on or within the property. RA does not make any soil analysis or geological study as part of its services, nor does RA investigate vapor, water, oil, gas, coal, or other subsurface mineral and use rights or such hidden conditions, and RA assumes no responsibility for any such conditions. The Report contains opinions of estimated replacement costs or deferred maintenance expenses and remaining useful lives, which are neither a guarantee of the actual costs or expenses of replacement or deferred maintenance nor a guarantee of remaining useful lives of any property element.

RA assumes, without independent verification, the accuracy of all data provided to it. Except to the extent resulting from RA's willful misconduct in connection with the performance of its obligations under this agreement, you agree to indemnify, defend, and hold RA and its affiliates, officers, managers, employees, agents, successors and assigns (each, an "RA Party") harmless from and against (and promptly reimburse each RA Party for) any and all losses, claims, actions, demands, judgments, orders, damages, expenses or liabilities, including, without limitation, reasonable attorneys' fees, asserted against or to which any RA Party may become subject in connection with this engagement, including, without limitation, as a result of any false, misleading or incomplete information which RA relied upon that was supplied by you or others under your direction, or which may result from any improper use or reliance on the Report by you or third parties under your control or direction or to whom you provided the Report. NOTWITHSTANDING ANY OTHER PROVISION HEREIN TO THE CONTRARY, THE AGGREGATE LIABILITY (IF ANY) OF RA WITH RESPECT TO THIS AGREEMENT AND RA'S OBLIGATIONS HEREUNDER IS LIMITED TO THE AMOUNT OF THE FEES ACTUALLY RECEIVED BY RA FROM YOU FOR THE SERVICES AND REPORT PERFORMED BY RA UNDER THIS AGREEMENT, WHETHER ARISING IN CONTRACT, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY OR OTHERWISE. YOUR REMEDIES SET FORTH HEREIN ARE EXCLUSIVE AND ARE YOUR SOLE REMEDIES FOR ANY FAILURE OF RA TO COMPLY WITH ITS OBLIGATIONS HEREUNDER OR OTHERWISE. RA SHALL NOT BE LIABLE FOR ANY SPECIAL, INDIRECT, INCIDENTAL, CONSEQUENTIAL, PUNITIVE OR EXEMPLARY DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, ANY LOST PROFITS AND LOST SAVINGS, LOSS OF USE OR INTERRUPTION OF BUSINESS, HOWEVER CAUSED, WHETHER ARISING IN CONTRACT, TORT (INCLUDING NEGLIGENCE), BREACH OF WARRANTY, STRICT LIABILITY OR OTHERWISE, EVEN IF RA HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. IN NO EVENT WILL RA BE LIABLE FOR THE COST OF PROCUREMENT OF SUBSTITUTE GOODS OR SERVICES. RA DISCLAIMS ALL REPRESENTATIONS AND WARRANTIES WHATSOEVER, EXPRESS OR IMPLIED OR OF ANY NATURE, WITH REGARD TO THE SERVICES AND THE REPORT, INCLUDING, WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



**Report** - RA will complete the services in accordance with the Proposal. The Report represents a valid opinion of RA's findings and recommendations with respect to the reserve study or Milestone Phase I, as applicable, and is deemed complete. RA will consider any additional information made available to RA within 6 months of issuing the Report and issue a revised Report based on such additional information if a timely request for a revised Report is made by you. RA retains the right to withhold a revised Report if payment for services was not tendered in a timely manner. All information received by RA and all files, work papers or documents developed by RA during the course of the engagement shall remain the property of RA and may be used for whatever purpose it sees fit. RA reserves the right to, and you acknowledge and agree that RA may, use any data provided by you in connection with the services, or gathered as a result of providing such services, including in connection with creating and issuing any Report, in a de-identified and aggregated form for RA's business purposes.

**Your Obligations** - You agree to provide us access to the subject property for an inspection. You agree to provide RA all available, historical and budgetary information, the governing documents, and other information that we request and deem necessary to complete the Report. Additionally, you agree to provide historical replacement schedules, utility bills and historical energy usage files that RA requests and deems necessary to complete the energy benchmarking services, and you agree to provide any utility release(s) reasonably requested by RA permitting RA to obtain any such data and/or information from any utility representative or other third party. You agree to pay actual attorneys' fees and any other costs incurred to collect on any unpaid balance for RA's services.

**Use of Our Report and Your Name** - Use of the Report is limited to only the purpose stated herein. You acknowledge that RA is the exclusive owner of all intellectual property rights in and relating to the Report. You hereby acknowledge that any use or reliance by you on the Report for any unauthorized purpose is at your own risk and that you will be liable for the consequences of any unauthorized use or distribution of the Report. Use or possession of the Report by any unauthorized third party is prohibited. The Report in whole or in part ***is not and cannot be used as a design specification for design engineering purposes or as an appraisal.*** You may show the Report in its entirety to the following third parties: members of your organization (including your directors, officers, tenants and prospective purchasers), your accountants, attorneys, financial institutions and property managers who need to review the information contained herein, and any other third party who has a right to inspect the Report under applicable law including, but not limited, to any government entity or agency, or any utility companies. Without the written consent of RA, you shall not disclose the Report to any other third party. By engaging our services, you agree that the Report contains intellectual property developed (and owned solely) by RA and agree that you will not reproduce or distribute the Report ***to any party that conducts reserve studies without the written consent of RA.***

RA will include (and you hereby agree that RA may include) your name in our client lists. RA reserves the right to use (and you hereby agree that RA may use) property information to obtain estimates of replacement costs, useful life of property elements or otherwise as RA, in its sole discretion, deems appropriate.

**Payment Terms, Due Dates and Interest Charges** - The retainer payment for any reserve study, Milestone Phase I inspection, and/or combined services is due upon execution of this agreement and prior to the inspection by RA, and any balance is due net 30 days from the Report shipment date. If only energy benchmarking services are performed by RA, then the retainer payment is due upon execution of this agreement and any balance is due net 30 days from the Report shipment date. In any case, any balance remaining 30 days after delivery of the Report shall accrue an interest charge of 1.5% per month. Unless this agreement is earlier terminated by RA in the event you breach or otherwise fail to comply with your obligations under this agreement, RA's obligations under this agreement shall commence on the date you execute and deliver this agreement and terminate on the date that is 6 months from the date of delivery of the Report by RA. Notwithstanding anything herein to the contrary, each provision that by its context and nature should survive the expiration or early termination of this agreement shall so survive, including, without limitation, any provisions with respect to payment, intellectual property rights, limitations of liability and governing law. We reserve the right to limit or decline refunds in our sole discretion. Refunds vary based on the applicable facts and circumstances.

**Miscellaneous** – Neither party shall be liable for any failures or delays in performance due to fire, flood, strike or other labor difficulty, act of God, act of any governmental authority, riot, embargo, fuel or energy shortage, pandemic, wrecks or delays in transportation, or due to any other cause beyond such party's reasonable control; provided, however, that you shall not be relieved from your obligations to make any payment(s) to RA as and when due hereunder. In the event of a delay in performance due to any such cause, the time for completion or date of delivery will be extended by a period of time reasonably necessary to overcome the effect of such delay. You may not assign or otherwise transfer this agreement, in whole or in part, without the prior written consent of RA. RA may freely assign or otherwise transfer this agreement, in whole or in part, without your prior consent. This agreement shall be governed by the laws of the State of Wisconsin without regard to any principles of conflicts of law that would apply the laws of another jurisdiction. Any dispute with respect to this agreement shall be exclusively venued in Milwaukee County Circuit Court or in the United States District Court for the Eastern District of Wisconsin. Each party hereto agrees and hereby waives the right to a trial by jury in any action, proceeding or claim brought by or on behalf of the parties hereto with respect to any matter related to this agreement.

## **Tab 9**



MINUTES OF MEETING

*Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

SEVEN OAKS  
COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of Seven Oaks Community Development District was held on **Wednesday, December 3, 2025, at 6:00 p.m.** at the Seven Oaks Clubhouse, located at 2910 Sports Core Circle, Wesley Chapel, FL 33544.

Present and constituting a quorum:

Andy Mendenhall	<b>Board Supervisor, Chairman</b>
Sean Grace	<b>Board Supervisor, Vice Chairman</b>
Ted Rhodes	<b>Board Supervisor, Assistant Secretary</b>
Jon Tomsu	<b>Board Supervisor, Assistant Secretary</b>

Also present were:

Scott Brizendine	<b>District Manager, Rizzetta &amp; Co., Inc.</b>
Lisa Castoria	<b>District Manager, Rizzetta &amp; Co., Inc.</b>
Kathryn Hopkinson	<b>District Counsel, Straley, Robin &amp; Vericker (via phone)</b>
Theresa DiMaggio	<b>Clubhouse Manager</b>
Greg Woodcock	<b>District Engineer, Stantec Consulting Services, Inc.</b>
John Gentilella	<b>Field Operations Manager</b>
Stephanie Cua	<b>Mahoney Law Group (via phone)</b>

Audience	<b>Present</b>
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FIRST ORDER OF BUSINESS

Call to Order

Mr. Brizendine called the meeting to order and performed roll call confirming a quorum for the meeting.

SECOND ORDER OF BUSINESS

Audience Comments

There was an audience comment about holding a New Year's party and allowing street parking during this event. Mr. Tomsu explained that an overnight parking permit can be purchased through the County.

**THIRD ORDER OF BUSINESS****Reports & Presentations****A. District Engineer**

Mr. Woodcock gave the Board an update on the paving project. Start date is tentatively scheduled for 1/5/2026 with an end date of approximately 3/11/2026. The Board would like to send a mailed notice and an eblast from the Seven Oaks POA, this would go to all property owners.

Mr. Woodcock reviewed a proposal paving plan for the future. Mr. Tomsu noted that Eagleston needs to be removed from the plan since the CDD does not own it. Mr. Woodcock will update the plan to reflect this change and will provide it to Reserve Advisors.

**B. District Counsel**

Mr. Brizendine introduced Ms. Stephaine Cua from Mahoney Law Group and noted that she was there to answer any questions the Board may have about the SB Associates Commercial Contract.

The draft contract was received by attorneys from both parties and revisions were made to protect the District's interest.

The Board questioned the language on Line 81 of the contract "community recreational" and whether it is a specific land use term or if it restricts future commercial uses.

Ms. Cua clarified that the inclusion of "community recreational" is not limiting; it only states that nothing prevents that use, and it can be modified or removed.

The Board requested that those words be removed. It was agreed to proceed with a motion to approve the contract in substantial form, authorizing the Chairman to execute the contract after this change has been made.

On a Motion by Mr. Tomsu, seconded by Mr. Grace, with one opposed, the Board of Supervisors approve the SB Associates Commercial Contract, in substantial form, for the Seven Oaks Community Development District.

On a Motion by Mr. Tomsu, seconded by Mr. Rhodes, with all in favor, the Board of Supervisors approved a NTE of \$5,000 for all required inspections and authorize the Chairman to sign outside of a meeting, for the Seven Oaks Community Development District.

SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT

December 3, 2025 – Meeting Minutes

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Ms. Hopkins and the Board discussed the Parking Easement Agreement with Lakeside at Seven Oaks HOA. The Board requested the following changes, correct the spelling of Associa Gulf Coast, update section three to reflect that industry standard is maintaining the same nice turf as other areas and add an exhibit with a map of the easement area.

On a Motion by Mr. Tomsu, seconded by Mr. Mendenhall, with all in favor, the Board of Supervisors approve the Parking Easement Agreement with Lakeside at Seven Oaks HOA, in substantial form, for the Seven Oaks Community Development District.

**C. Field Operations Manager**

Mr. Gentilella provided a proposal to cut back landscaping around court 5 in the amount of \$6,000. The Board discussed and agreed to approve a NTE of \$6,000, focusing on cutting back landscaping that is impacting the courts but taking into consideration of maintaining the landscaping for shade and aesthetics.

On a Motion by Mr. Mendenhall, seconded by Mr. Grace, with all in favor, the Board of Supervisors approved a NTE of \$6,000 to cut back landscaping around Court 5, for the Seven Oaks Community Development District.

**D. Clubhouse Manager**

Ms. DiMaggio did not have a report this month.

**E. District Manager**

Mr. Brizendine informed the Board that the next regular meeting will be held on January 7, 2025, at 3:00 p.m.

**i. Review of District Management Report and Financial Statement**

Mr. Brizendine presented the Manager's report and financial statements to the Board. There were no questions or comments at this time.

**ii. Review of New Solitude Contract**

Mr. Brizendine presented the new Solitude Contract for pond maintenance and informed the Board that there is no change in the price. It will remain \$58,068 for all 3 Ponds. The Board approved the contract and with the request for a price lock for 2 years but will also approve the contract if they are not able to do so.

On a Motion by Mr. Tomsu, seconded by Mr. Grace, with all in favor, the Board of Supervisors approved the Solitude Contract for Pond Maintenance, for the Seven Oaks Community Development District.



iii. Reserve Study Update

Mr. Brizendine notified the Board that Reserve Advisors reached out with additional questions. They anticipate having the draft ready by next week.

**FOURTH ORDER OF BUSINESS**

**Consideration of Resolution 2026-02;  
General Elections**

It was noted that on the resolution the seat designations are incorrect, it should be Mr. Tomsu in Seat 3 and Mr. Mendenhall in Seat 1.

On a Motion by Mr. Tomsu, seconded by Mr. Mendenhall, with all in favor, the Board of Supervisors adopted Resolution 2026-02; General Elections, as amended, for the Seven Oaks Community Development District.

**FIFTH ORDER OF BUSINESS**

**Consideration of Resolution 2026-03;  
Designating an Assistant Secretary**

On a Motion by Mr. Tomsu, seconded by Mr. Mendenhall, with all in favor, the Board of Supervisors adopted Resolution 2026-03; Designating an Assistant Secretary, for the Seven Oaks Community Development District.

**SIXTH ORDER OF BUSINESS**

**Consideration of UES Agreement and  
Proposal for Milling and Resurfacing**

The Board reviewed and discussed the UES Agreement and proposal. Mr. Woodcock explained that the previous proposal that was approved for \$6,000 was provided by mistake and the correct proposal cost is \$12,511. The Board agreed to rescind the previous proposal and approve the one provided today.

On a Motion by Mr. Grace, seconded by Mr. Tomsu, with all in favor, the Board of Supervisors agreed to rescind the previous proposal and approve the one provided today in the amount of \$12,511, for the Seven Oaks Community Development District.

**SEVENTH ORDER OF BUSINESS**

**Consideration of SB Associates  
Addendum and Proposal for  
Commercial Contract**

This item was discussed under District Counsel report.

**SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT**

**December 3, 2025 – Meeting Minutes**

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**EIGHTH ORDER OF BUSINESS**

**Discussion of Parking and Towing Policy**

The Board held a brief discussion regarding the parking and towing policy. The Board requested staff to start working on the notice that will be mailed to the community after the towing signs are installed.

**NINTH ORDER OF BUSINESS**

**Consideration of Board Supervisors' Special meeting held on October 24, 2025, and the Regular Meeting held on November 5, 2025**

On a Motion by Mr. Rhodes, seconded by Mr. Tomsu, with all in favor, the Board of Supervisors approved the minutes of Board of Supervisors' Special Meeting held on October 24, 2025, and the Regular Meeting held on November 5, 2025, for the Seven Oaks Community Development District.

**TENTH ORDER OF BUSINESS**

**Supervisor Requests**

There were no Supervisor requests presented at this time.

**ELEVENTH ORDER OF BUSINESS**

**Adjournment**

On a Motion by Mr. Tomsu, seconded by Mr. Grace, with all in favor, the Board of Supervisors adjourned the meeting at 8:16 p.m., for Seven Oaks Community Development District.

\_\_\_\_\_  
Secretary

\_\_\_\_\_  
Chairman/Vice Chairman

MINUTES OF MEETING

*Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

**SEVEN OAKS  
COMMUNITY DEVELOPMENT DISTRICT**

The special meeting of the Board of Supervisors of Seven Oaks Community Development District was held on **Friday, December 19, 2025, at 3:13 p.m.** at the Seven Oaks Clubhouse, located at 2910 Sports Core Circle, Wesley Chapel, FL 33544.

Present and constituting a quorum:

Andy Mendenhall	<b>Board Supervisor, Chairman</b>
Sean Grace	<b>Board Supervisor, Vice Chairman</b>
Ted Rhodes	<b>Board Supervisor, Assistant Secretary (via phone)</b>
Jon Tomsu	<b>Board Supervisor, Assistant Secretary</b>
Jack Christensen	<b>Board Supervisor, Assistant Secretary (via phone)</b>

Also present were:

Scott Brizendine	<b>District Manager, Rizzetta &amp; Co., Inc.</b>
Lisa Castoria	<b>District Manager, Rizzetta &amp; Co., Inc.</b>
Whitney Sousa	<b>District Counsel, Straley, Robin &amp; Vericker (via phone)</b>
Stephanie Cua	<b>Mahoney Law Group (via phone)</b>
Audience	<b>Not Present</b>

**FIRST ORDER OF BUSINESS**

**Call to Order**

Mr. Brizendine called the meeting to order and performed roll call confirming a quorum for the meeting.

**SECOND ORDER OF BUSINESS**

**Audience Comments**

There were no audience members present.



**THIRD ORDER OF BUSINESS**

**Discussion of SB Associates  
Commercial Contract and Addendum**

Ms. Cua shared with the board SB Associates' response concerning the requested removal of the property use designation on line 81. SB Associates does not want that designation of community recreational to be removed. The board discussed the matter along with the language on lines 8 and 9, which excludes office and computer equipment from the personal property to be part of the transaction. The board was fine with the exclusion of the office and computer equipment and agreed to leave the designation of community recreational on line 81. There were no further contractual language issues to consider.

On a Motion by Mr. Mendenhall, seconded by Mr. Tomsu, with all in favor, the Board of Supervisors approved the commercial contract, as written, for the Seven Oaks Community Development District.

**FOURTH ORDER OF BUSINESS**

**Supervisor Requests**

There were no Supervisor requests presented at this time.

**FIFTH ORDER OF BUSINESS**

**Adjournment**

On a Motion by Mr. Mendenhall, seconded by Mr. Grace, with all in favor, the Board of Supervisors adjourned the meeting at 3:24 p.m., for Seven Oaks Community Development District.

\_\_\_\_\_  
Secretary

\_\_\_\_\_  
Chairman/Vice Chairman

## **Tab 10**

# SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT

DISTRICT OFFICE · 3434 COLWELL AVENUE · SUITE 200 · TAMPA,  
**Operations and Maintenance Expenditures-Enterprise Fund**  
**November 2025**  
**For Board Approval**

Attached please find the check register listing the Operation and Maintenance expenditures paid from November 1, 2025 through November 30, 2025. This does not include expenditures previously approved by the Board.

The total items being presented:      **\$ 2,370.37**

Approval of Expenditures:

\_\_\_\_\_

\_\_\_\_\_ Chairperson

\_\_\_\_\_ Vice Chairperson

\_\_\_\_\_ Assistant Secretary



## Seven Oaks Enterprise Fund Community Development District

### Paid Operation & Maintenance Expenditures

November 1, 2025 Through November 30, 2025

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Amazon Capital Services, Inc.	300054	1D39-6Q3X-XWYR Cafe	Cafe Supplies 10/25	\$ 194.66
FCS, Inc.	300055	738475	Waste Oil recycling 11/25	\$ 400.00
Florida Department of Revenue	20251120-1	111925- 6180127578920	Sales Tax 10/25 730	\$ 897.47
Valley National Bank	20251126-1	Valley CC 10/25 Cafe	Food 10/25	<u>\$ 878.24</u>
<b>Total</b>				<u><u>\$ 2,370.37</u></u>



For customer support, visit [www.amazon.com/contact-us](http://www.amazon.com/contact-us).

## Invoice summary *Due 30 days from receipt of invoice*

Item subtotal before tax	\$ 2,429.79
Shipping & handling	\$ 5.98
Promos & discounts	(\$ 7.95)
Total before tax	\$ 2,427.82
Tax	\$ 0.00
<b>Amount due</b>	<b>\$ 2,427.82 USD</b>

## Pay by

### Electronic funds transfer (EFT/ACH/Wire)

**Account name** Amazon Capital Services, Inc.  
**Bank name** Wells Fargo Bank  
**Bank routing # (ABA)** 121000248  
**Bank account # (DDA)** 41630410006031218  
**SWIFT code (wire transfer)** WFBUS6S

### Check

Amazon Capital Services  
PO Box 035184  
Seattle, WA 98124-5184

Include Amazon invoice number(s) in the descriptive field of your electronic funds transfer payment, or

Email [ar-businessinvoicing@amazon.com](mailto:ar-businessinvoicing@amazon.com) to submit your remittance detail.

**Billing period** 10/1/25 to 10/31/25

**Account #** A1X2JE9D1GIM05

**Payment terms** Net 30

### Registered business name

Seven Oaks CDD

### Bill to

Seven Oaks CDD  
3434 Colwell Ave  
#200  
Tampa, FL 33614

### Group Name

Seven Oaks CDD

## Invoice details

#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
1	9/30/25	Vigoog Heavy Duty Exercise Handles, Ultra-Durable Rubber Workout Grip Attachments for Cable Machines, LAT Pulldown, Resistance Bands, Home Gym and Commercial Fitness Equipment <small>Sold by: zhizhujiao ASIN: B0FCMRQJJN Order # 114-8244824-7516261 Order date: September 30, 2025</small>	1	\$19.99	\$19.99	0.000%
2	10/2/25	Oktoberfest Fabric Bunting, Oktoberfest Bunting with Oktoberfest Bavarian Pennant Banner for Oktoberfest Party, German Bavarian Beer Festival Decoration Supplies <small>Sold by: he fei ze you pin ke ji you xian gong si ASIN: B0B1PKMN31 Order # 113-3644528-7533029 Order date: October 02, 2025</small>	1	\$16.99	\$16.99	0.000%

#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
Event 3	10/2/25	Blulu Oktoberfest Decorations Oktoberfest Banner Sign October Festival Party Decorations Bavarian Check Flag Porch Welcome Banner Flags Decor for German Parade Beer Festival Party Supplie Sold by: DONGGUANSHI KAIZE NETWORK TECHNOLOGY Co., Ltd. ASIN: B07WFZYVGS Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$11.59	\$11.59	0.000%
Event 4	10/2/25	Oktoberfest Party Supplies, 5lb Oktoberfest Paper Food Trays, Disposable Serving Plates, Beer Festival Snack Nacho Trays for Oktoberfest, BBQ, Carnival, German Theme Party Decor (50) Sold by: foshanshichunlaiyuxianmaoyiyouxiangongsi ASIN: B0FF4T9MPT Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$13.99	\$13.99	0.000%
Event 5	10/2/25	Linen Oktoberfest Table Runner 72 Inches Long Oktoberfest Tablecloth German Bavarian Oktoberfest Beer Party Decorations and Supplie for Home Sold by: henanjiudundianzikejiyouxiangongsi ASIN: B0D6XKH6T7 Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$7.98	\$7.98	0.000%
Event 6	10/2/25	Reallnaive 50 Set Oktoberfest Party Supplies Blue and White Disposable Plastic Cutlery Set with Pre Rolled Oktoberfest Napkin Knives Forks Spoons and Rings Beer Festival Supplies Sold by: shenzhenshiruindianzishangwuyouxiangongsi ASIN: B0FBWV5G8Z Order # 113-3644528-7533029 Order date: October 02, 2025	2	\$32.99	\$65.98	0.000%
Event 7	10/2/25	Aodaer 200 Pieces Oktoberfest Wooden Cocktail Picks Appetizer Fruits Bamboo Toothpicks Decorative Cocktail Sticks with Bavarian Flag for Fruits Dessert Appetizer Party Supplies Sold by: shuchengruidisidianzishangwuyouxiangongsi ASIN: B0D6G4CWKC Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$15.99	\$15.99	0.000%
Event 8	10/2/25	BeYumi 123Pcs Fall Scarecrow Head Craft Kit DIY Scarecrow Craft Autumn Thanksgiving Art Craft Make Your Own Scarecrow Head Set Home Classroom Game Activities Art Supplies Decor for Kindergarten Kids Sold by: Zhao qing shi xiang feng li ji xie shi ye you xian gong si ASIN: B0C5HDCVJ8 Order # 111-3070706-7725817 Order date: October 02, 2025	1	\$12.34	\$12.34	0.000%
Event 9	10/5/25	Hillban 2 Pcs Oktoberfest Aprons Women Mens German Apron Oktoberfest Costume for Couples Cooking BBQ Party Favor Gifts(Fresh Style) Sold by: Hefei Geming Xinxikeji Youxiangongsi ASIN: B0BFX1CD7P Order # 113-3644528-7533029 Order date: October 02, 2025	2	\$17.99	\$35.98	0.000%
Event 10	10/5/25	MEHOFOND Oktoberfest Decorations Oktoberfest Banner German Bavarian Beer Backdrop Party Decor White Blue Photo Background for Beer Festival Celebration Party Supplies 6x4 ft Sold by: Suzhouchuangmeizhonglianshumakejiyouxiangongsi ASIN: B0F8Q1XQ3W Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$5.99	\$5.99	0.000%
Event 11	10/5/25	4 Pcs Oktoberfest Party Decorations Oktoberfest Photo Prop Large Face Yard Sign with Stakes Waterproof Bavarian Beer Festival for German Outside Lawn Garden Decor Photography Sold by: hefeidacangdianzishangwuyouxiangongsi ASIN: B0D73HQB5L Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$37.99	\$37.99	0.000%
Event 12	10/5/25	Linen Oktoberfest Table Runner 72 Inches Long Oktoberfest Tablecloth German Bavarian Oktoberfest Beer Party Decorations and Supplie for Home Sold by: henanjiudundianzikejiyouxiangongsi ASIN: B0D6XKH6T7 Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$7.98	\$7.98	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
13	10/7/25	Brother Printer TN431M Standard Yield Toner-Retail Packaging , Magenta Sold by: Amazon.com Services, Inc ASIN: B06XCD5LRB Order # 111-8155741-8467444 Order date: October 07, 2025	1	\$80.99	\$80.99	0.000%
14	10/7/25	Brother Printer TN431Y Standard Yield Toner-Retail Packaging , Yellow Sold by: Amazon.com Services, Inc ASIN: B06XCL5SJJ Order # 111-8155741-8467444 Order date: October 07, 2025	1	\$80.99	\$80.99	0.000%
15	10/8/25	Sterno Fuel Cans - 6-Hour Burn, (12-Pack) Chafing Dish Fuel Can Burners for Food Warmer, Resealable Twist Chafer Fuel Canned Heat, Handy Wick Sold by: Accessory Export LLC ASIN: B0D2JM6B1Y Order # 111-8911877-6210614 Order date: October 07, 2025	1	\$29.98	\$29.98	0.000%
16	10/12/25	Shappy Floating Rope Life Ring Rope Lifesaving Dock Lines Boat Braided Polypropylene Outdoor Throwing Lines for Life Preserver Ring Anchor Heaving Line with Spring Hook(15 m/ 16.4 Yards,White) Sold by: Hefei Rongtang Wangluokeji Youxiangongsi ASIN: B08THP24DB Order # 113-9218878-4282628 Order date: October 11, 2025	4	\$17.99	\$71.96	0.000%
17	10/13/25	TAYLOR TECHNOLOGIES INC R-0001-C REAGENT #1 DPD 2 OZ Sold by: MNH INC ASIN: B0002Z0MQU Order # 113-1176859-1096258 Order date: October 11, 2025	1	\$12.37	\$12.37	0.000%
18	10/13/25	Jim-Buoy GW-24 U.S.C.G. Approved G-Series Life Ring - 24", White Sold by: DIRECT BRANDS HOLDINGS LLC- SERIES ASIN: B001PGWZCE Order # 113-8394214-1173840 Order date: October 11, 2025	4	\$114.58	\$458.32	0.000%
19	10/13/25	HOMCOM 7.5' Tall Lighted Halloween Inflatables Outdoor Decorations Haunted Tree with Owl, Ghost, Pumpkins, Blow Up LED Yard Decor for Garden, Lawn, Party, Holiday, Waterproof Sold by: Aosom LLC ASIN: B07HCHQBRP Order # 113-4171028-8026624 Order date: October 13, 2025	1	\$39.19	\$39.19	0.000%
20	10/13/25	COSIMIXO 5-Pack Red Heavy Duty Duct Tape, 2 inches x 30 Yards, Strong, Flexible, No Residue, All-Weather and Tear by Hand - Bulk Value for Repairs, Industrial, Professional Use Sold by: dongguanshichuangshijiaonanyouxiangongsi ASIN: B0BK16TQ5Q Order # 113-3498297-6656221 Order date: October 13, 2025	1	\$22.65	\$22.65	0.000%
21	10/13/25	1400 sqft Halloween Spider Webs Decorations with 150 Extra Fake Spiders, Super Stretchy Cobwebs for Halloween Decor Indoor and Outdoor Sold by: shen zhen a da mao yi you xiao gong si ASIN: B07YCSNLDG Order # 113-3228256-8589841 Order date: October 13, 2025	1	\$16.99	\$16.99	0.000%
22	10/14/25	4.6FT Halloween Inflatable Pumpkin Outdoor Decorations Blow-up Pink Pumpkin Build-in 4 LED Lights for Halloween Party Decor Giant Inflatable Fake Pumpkins for Fall Thanksgiving Yard Garden Lawn Sold by: eYourlife LLC ASIN: B0FF9R3GL6 Order # 113-7959008-6982635 Order date: October 13, 2025	1	\$52.24	\$52.24	0.000%
23	10/14/25	BN-LINK 24 Hour Heavy Duty Mechanical Timer, Outdoor Timer Outlet Waterproof with 15 Minutes Intervals, 2 Grounded Outlets for Christmas Lights Pool Pump,15A 1/2HP, ETL Listed Sold by: BNLINK INC ASIN: B079N9FW5B Order # 113-7959008-6982635 Order date: October 13, 2025	3	\$13.16	\$39.48	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
Event 24	10/14/25	8FT Halloween Inflatables Spider Outdoor Decorations for Yard, Giant Blow up Green Spider with Rotating Fire Flame Light, Large Spooky Spider Props for Halloween Party Garden Lawn House Holiday Decor Sold by: Zhongshan Mohua Trading Co., Ltd. ASIN: B09XDSP6DJ Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$59.98	\$59.98	0.000%
Event 25	10/14/25	ZTHMOE Fabric 10x8ft Halloween Candy Shop Photography Backdrop Magic Witch Background Pumpkin Lantern Night Party Decorations Maple Leaves Photo Booth Banner Sold by: Nantong Huamo E-commerce Co., Ltd. ASIN: B0DHX4NVM8 Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$43.99	\$43.99	0.000%
CH misc 26	10/14/25	zukaii 5FT Halloween Inflatables Ghost, Cute Halloween Decorations Outdoor Blow Up Yard Decorations with Built-in Bright LED Lights Pumpkin Lollipop Bow Blow-ups for Indoor Outdoor Holiday Party Sold by: Shenzhenshiqinfengkejijouxiangongsi ASIN: B0FFT7NVCS Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$34.99	\$34.99	0.000%
CH misc 27	10/14/25	5FT Cute Halloween Inflatables Ghost, Blow Up Wizard Ghost with Pumpkin Black Cat for Garden Lawn Indoor Party Decor, Halloween Decorations Outdoor Inflatables Sold by: shenzhenshiqinfengkejijouxiangongsi ASIN: B0FF46ZDZ3 Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$42.99	\$42.99	0.000%
Event 28	10/14/25	11FT Giant Halloween Inflatable, Giant Halloween Inflatables Archway, Outdoor Blow Up Decorations, Inflatable Pumpkin Arch for Yard Lawn Garden Party Sold by: shenzhenliyuantaomaoyijouxiangongsi ASIN: B0FJD9RC3N Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$89.99	\$89.99	0.000%
CH misc 29	10/14/25	GOOSH 5 FT Halloween Inflatables Ghost Outdoor Decorations Blow Up Yard Cute Wizard Ghost with Hand-Held Light with Built-in LEDs for Garden Lawn Indoor Party Decor Sold by: GME LLC ASIN: B07WXGLDGV Order # 113-4562806-9117018 Order date: October 13, 2025	1	\$37.99	\$37.99	0.000%
Cleaning 30	10/14/25	Simple Green 13005CT Industrial Cleaner and Degreaser, Concentrated, 127.8 Fl Oz, Pack of 1, White Sold by: Amazon.com Services, Inc ASIN: B0000AXNO5 Order # 113-5278568-7774608 Order date: October 13, 2025	1	\$10.98	\$10.98	0.000%
Cleaning 31	10/14/25	Veco Spray Bottle (5 Pack, 16 Oz) with Measurements and Adjustable Nozzle (Mist & Stream Mode), HDPE Plastic Spray Bottles for Cleaning Solution, Household/Commercial/Industrial Use, No Leak and Clog Sold by: ShenZhenShiTuoYuanFengKeJiYouXianGongSi ASIN: B08G4R1BJF Order # 113-5278568-7774608 Order date: October 13, 2025	1	\$16.99	\$16.99	0.000%
car equipment 32	10/15/25	Perfect Fry 83543 2 Stage Filter Sold by: Amazon.com Services, Inc ASIN: B09JB8VWVR Order # 113-1791684-4432233 Order date: October 15, 2025	1	\$183.64	\$183.64	0.000%
CH misc 33	10/15/25	Shark HP232 Clean Sense Air Purifier MAX with Odor Neutralizer Technology, Allergies, HEPA Filter, 1200 Sq Ft, XL Room, Whole Home, Captures 99.98% of Particles, Allergens, Smells & More, Grey Sold by: Amazon.com Services, Inc ASIN: B0C7SM1XW3 Order # 113-4502595-3031455 Order date: October 15, 2025	1	\$218.49	\$218.49	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
34	10/18/25	Dermoplast Pain, Burn & Itch Relief Spray for Minor Cuts, Burns and Bug Bites, 2.75 Oz (Packaging May Vary) Sold by: Amazon.com Services, Inc ASIN: B073PBPC51 Order # 111-3901737-8680209 Order date: October 17, 2025	2	\$7.74	\$15.48	0.000%
35	10/22/25	Acrylix 25 High Solids & High Gloss Commercial Floor Wax & Finish - Case of 4 Gallons... Sold by: Jani-Source Inc. ASIN: B00JLEUAVK Order # 113-4720906-2693811 Order date: October 21, 2025	1	\$119.95	\$119.95	0.000%
36	10/26/25	Charcoal Water Filter for Cuisinart SS-10, SS-15, SS-700, DCC-1200, DCC-3200, DCC-3000(P1) Coffee Makers Filter Replacement (12Pack). Sold by: foshanshi shundequ linyoujiaju youxiangongsi ASIN: B0CK2NJTPK Order # 113-0913103-2387456 Order date: October 26, 2025	1	\$12.99	\$12.99	0.000%
37	10/28/25	8 Pack White Round Spandex Tablecloth for 60 inch Table, Wrinkle Free Stretchy 120inch Fitted 5FT Round Table Cloths Cover with Skirt for Wedding Birthday Party Dining Banquet Thanksgiving Events Sold by: Pan'an Xian Ji Wei Dian Zi Shang Wu You Xian GongSi ASIN: B0CC25H8GD Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$118.99	\$118.99	0.000%
38	10/28/25	Outpain White Spandex Table Clothes for 8 Foot Rectangle Tables-6Pack 8FT Spandex Fitted Table Cover, Wrinkle Free Tablecloths with Skirt for Parties, Wedding, Birthday, Banquet, Festival Sold by: Pan An Xian Hui Cai Mao Yi You Xian Gong Si ASIN: B0BZHKJYPK Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$101.99	\$101.99	0.000%
39	10/28/25	Aneco 12 Pack Satin Table Runner 12 x 108 Inch Fall Autumn Long Wedding Satin Silk Table Runner for Thanksgiving Halloween Party Decoration Wedding Banquet Graduations Birthday Sold by: Yishanmen Network Technology Shanghai Co., Ltd. ASIN: B0DBGYXJKN Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$21.99	\$21.99	0.000%
40	10/28/25	COMIN 5.4 FT Thanksgiving Decorations Inflatables Outdoor Big Eye Turkey Blow Up Inflatable with Built-in LEDs for Holiday Yard Lawn Garden Decor Sold by: COMIN INC. ASIN: B0D8J8M6XB Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$30.99	\$30.99	0.000%
41	10/28/25	8FT Thanksgiving Inflatables Outdoor Decoration Inflatable Turkey Squirrel Pumpkin, Built in LED Lights Blow Up Yard Decorations for Fall Holiday Party Garden Lawn Décor Sold by: 91440106093718790L ASIN: B0D1VC5NKK Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$53.99	\$53.99	0.000%
42	10/28/25	TURNMEON 4 Ft Thanksgiving Inflatable Decorations Outdoor, Blow up Turkey Holds Happy Thanksgiving Banner LED Lights for Yard Lawn Garden Fall Autumn Decoration Home Decor Outside Indoor Sold by: GBD INC ASIN: B0B4S2Z1GD Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$29.99	\$29.99	0.000%
43	10/29/25	PENGYEE 6 Pack 5.57ft Artificial Christmas Garlands, Xmas Holly Leaves and Red Berries, Artificial Greenery Garlands for Christmas Decorations Fireplace Winter Newyear Decor Sold by: Huanghua Qidi Trading Company ASIN: B0D9MJMZZG Order # 113-3956171-4017845 Order date: October 29, 2025	1	\$25.45	\$25.45	0.000%
44		Shipping & handling			\$5.98	0.000%
45		Promotions & discounts			(\$7.95)	0.000%



Total before tax	\$2,427.82
Tax	\$0.00

<b>Amount due</b>	<b>\$2,427.82</b>
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## FAQs

## How is tax calculated?

Visit <https://www.amazon.com/gp/help/customer/display.html?nodeId=G202036190>

## How are digital products and services taxed?

Visit <https://www.amazon.com/gp/help/customer/display.html?nodeId=T18ikShu13no6ZK3jZ>

## When will I get a refund for undelivered items?

You can expect to get your refund within 7 calendar days after we receive confirmation that your package was undeliverable (exclusions apply).

Fitness	\$ 19.99	57200-4914
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Events	\$ 781.34	57400-4775
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Office Supplies	\$ 161.98	57200-5101
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Facility Clubhouse Supplies	\$ 77.61	57200-4619
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Pool Supplies	\$ 542.65	57200-4717
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Clubhouse misc	\$ 501.67	57200-4785
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Cleaning Supplies	\$ 147.92	57200-4704
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Cable Equipment	\$ 183.64	57200-6442
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Cable Supplies	\$ 11.02	57200-3222
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**FCS INC.**

738475

INVOICE # 738475

**Recycling GT Waste & Yellow Oil**

PERMIT # PCH0111-7/31/2026 LIC # CFC1429860

Pasco-FogBMP

**REMIT TO:**

3813 126th Avenue N.  
Clearwater, FL 33762  
(727) 576-1111 24 Hr Emg.

NAME **Seven Oaks CDD**  
ADDRESS **3434 Colwell Ave. Ste 200**  
CITY **Tampa**  
STATE **FL 33614**

ACCOUNT # **3663**

PHONE NUMBER **(813) 907-7987** CK. # CREDIT CARD C.O.D. NET 10  
**X**

PUMPS	JETTINGS	CAR WASH	TRAPS	INTERCEPTORS	LIFTSTATION	DRAINFIELD	SEPTIC	OB	PAY THIS AMOUNT
4	0	0	0	1	0	0	0	0	\$400.00

COMMENTS Baffle intact and unobstructed [ ] NA [X] Yes [ ] Needs Repair  
 Cover secure & in good condition [X] Yes [ ] Needs Repair  
 Inlet /outlet pipes intact and in place [X] Yes [ ] Needs Repair  
 Walls & bottom in good condition [X] Yes [ ] Needs Repair

**TOTAL \$400.00**

Interceptor T-1 Grease Cap: 5 Est. Inch, Bottom Solids: 3 Est. Inch, Total Depth: 48  
 Condition: T-2 Grease Cap: \_\_\_\_\_ Est. Inch, Bottom Solids: \_\_\_\_\_ Est. Inch Total Depth: \_\_\_\_\_  
 T-3 Grease Cap: \_\_\_\_\_ Est. Inch, Bottom Solids: \_\_\_\_\_ Est. Inch Total Depth: \_\_\_\_\_  
 T-4 Grease Cap: \_\_\_\_\_ Est. Inch, Bottom Solids: \_\_\_\_\_ Est. Inch Total Depth: \_\_\_\_\_  
 T-5 Grease Cap: \_\_\_\_\_ Est. Inch, Bottom Solids: \_\_\_\_\_ Est. Inch Total Depth: \_\_\_\_\_

Time In 5:30 Out 5:45  
AM/PM AM/PM

DRIVER: Roswell DECAL # G monkey TAG# P4462A Volume Pumped (12.50)

Int Under Mulch On Left Side Of Cafe Door \*\*\*CAFÉ\*\*\* D-48" 1250-G

SERVICE ADDRESS- 390 Brooks Ave Circle, Wesley Chapel FL

Feb May Aug Nov  
 Pumped 15KP 4/28KK 4LD

Leave GREEN Copy

57200-4647

Pump Grease trap

**THANK YOU**

WE APPRECIATE YOUR BUSINESS

RT# 39 Lutz-DC-WC-Zeph

Customer Signature: Copy@Door

Date: 11/4/25

Print Customer Name:

Driver Signature: Thankyou R Zola

Date: 11/4/25

CERTIFICATION: I certify that the above information is true and accurate. Further certify that said device was completely pumped and cleaned, and no materials were pumped back into the device or the Jurisdiction Utilities wastewater collection system. I understand that falsification of this information is a violation of the Jurisdiction Utilities Ordinances and I may be subject to enforcement action in accordance with the provisions set forth therein (PCCS #126-613).

ACCEPTANCE OF WORK PERFORMED: I find the service and materials rendered and installed in connection with the above work mentioned, to have been completed in a satisfactory manner. I agree that the amount set forth on this contract in the space labeled "TOTAL" to be the total and complete charge. I agree to pay reasonable attorney's fees and court costs in the event of legal action.

Discharge Approval: On this date 11/4/25 and time 7:05 AM, the waste listed in this manifest were approved for discharge, and were disposed by the hauler at the following permitted treatment facility: Grease Depot

Operator Signature: D Harrington

Disposal Manifest # 167844

Comments:

UNIFIED MANIFEST • Retain this form at least 3 years in your files.





State of Florida  
Department of Revenue

[DOR Home](#) [e-Services Home](#) [Print Page](#) [Contacts](#) [Logout](#)  
Sales Tax - [Click for Help](#) NODE: 4

User ID:  
AF1275789201

Original Return

**FOR YOUR RECORDS ONLY - DO NOT MAIL**

Cancellations must be done before 5:00 p.m. ET on the submission date. If the submission is completed after 5:00 p.m. ET on the submission date, weekend, or holiday the cancellation must be done before 5:00 p.m. ET the next business day. All cancellations are permanently deleted from our database.

**Access Source: AF1275789201**

**Confirmation Number: 251119517104**

DR15-EZ

Certificate Number	Collection Period	Confirm Date and Time
61-8012757892-0	10/2025	11/19/2025 2:52:28 PM ET

**Location Address**

2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764

SEVEN OAKS COMMUNITY  
DEVELOPMENT DISTRICT  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764

Contact Information	
Name	BRIAN L HEUREUX
Phone	( 813 ) 933 - 5571
Email	BLHEUREUX@RIZZETTA.COM

Debit Date:

Amount for Check:



Bank Routing Number:

Bank Account Number:

Bank Account Type:

Corporate/Personal:

Name on Bank Account:

SEVEN OAKS  
COMMUNITY  
DEVELOPMENT  
DISTRICT

Due to federal security requirements, we can not process international ACH transactions. If any portion of the money used in the payment you may be making today came from a financial institution located outside of the US or its territories for the purpose of funding this payment, please do not proceed and contact the Florida Department of Revenue at 850-488-6800 to make other payment arrangements. By continuing, you are confirming that this payment is not an international ACH transaction. If you are unsure, please contact your financial institution.

I hereby authorize the Department of Revenue to process this ACH transaction and to debit the checking account identified above. I understand there may be service charges assessed on any transactions not honored by my bank.

Signature:	BRIAN L HEUREUX
Phone Number:	813-933-5571
Email Address:	BLHEUREUX@RIZZETTA.COM

1. Gross Sales  
(Do not include tax) 13149.71
2. Exempt Sales  
(Include these in Gross Sales, Line 1) 0.00
3. Taxable Sales/Purchases  
(Include Internet/Out-of-State Purchases) 13149.71

Discretionary Sales Surtax Information		
	Taxable Sales and	
A.	Purchases <b>Not</b> Subject to Discretionary Sales Surtax	\$ 0.00
B.	Total Discretionary Sales Surtax Due	\$ 131.50

4. Total Tax Due  
(Include Discretionary Sales Surtax from Line B) \$ 920.48
5. Less Lawful Deductions \$ 0.00
6. Less DOR Credit Memo \$ 0.00
7. Net Tax Due \$ 920.48
8. a. **Less (-)** Collection Allowance; or if Late, \$ 23.01
8. b. **Plus (+)** Penalty and Interest \$ 0.00
9. Amount Due With Return \$ 897.47

You have chosen not to donate your collection allowance to education.



**Payment you have authorized**

897.47



NOV - 7 2025

00

## ACCOUNT SUMMARY

Credit Limit \$26,000.00  
Credit Available \$21,598.00  
Statement Closing Date October 31, 2025  
Days in Billing Cycle 31  
Previous Balance \$4,567.44  
Payments & Credits \$4,594.90  
Purchases & Other Charges \$4,148.74  
Balance Transfer \$0.00  
FEES CHARGED \$0.00  
INTEREST CHARGED \$0.00  
New Balance \$4,121.28

Questions? Call Customer Service  
Toll Free - 1-844-626-6581  
International Collect - 1-301-665-4442  
TTY 1-301-665-4443

## PAYMENT INFORMATION

New Balance \$4,121.28  
Minimum Payment Due \$4,121.28  
Payment Due Date November 25, 2025

Notice: SEE REVERSE SIDE FOR MORE IMPORTANT INFORMATION

## TRANSACTIONS

Tran Date	Post Date	Reference Number	Transaction Description	Amount
			<b>TOTAL</b>	<b>\$4,567.44-</b>
10/27	10/27	F1515009C00CHGDDA	<b>TOTAL</b>	<b>\$0.00</b>
		MICHELLE WHITE	AUTOMATIC PAYMENT - THANK YOU	4,567.44-
		JOHN GENTILELLA	<b>TOTAL</b>	<b>\$2,344.36</b>
09/30	10/01	05436848JBLK1MEAM	SAMS CLUB #4852 WESLEY CHAPEL FL MCC:	84.89
			5542 MERCHANT ZIP: 33544	
10/03	10/03	55432868L5S8KK3B3	IN *PARATEC DOOR SOLUT 727-2378663 FL	272.00
			MCC: 1520 MERCHANT ZIP:	
10/03	10/03	82305098LEHNE9FGR	BENQ AMERICA CORP. COSTA MESA CA	749.00
			MCC: 5732 MERCHANT ZIP:	
10/04	10/04	52707158N09G15HQX	THE HOME DEPOT #6311 TAMPA FL	21.64
			MCC: 5200 MERCHANT ZIP: 33647000	
10/06	10/06	55432868P5V839QH0	AMAZON MKTPL*NV3N961T2 AMZN.COM/BILL WA	173.79
			MCC: 5942 MERCHANT ZIP:	

Transactions continued on next page

1080 0001 TVH

001 7 31 251031 0

PAGE 1 of 4

10 1515 0000 BASE

731

Please detach bottom portion and submit with payment using enclosed envelope



Valley Bank  
Commercial Services  
180 Fountain Parkway N  
St Petersburg FL 33716

## PAYMENT INFORMATION

Account Number:  
Payment Due Date November 25, 2025  
New Balance \$4,121.28  
Minimum Payment Due \$4,121.28  
Past Due Amount \$0.00

Make Check  
Payable to:

Amount Enclosed:

\$

00

731

SEVEN OAKS COMMUNITY DEVELOPMENT D  
3434 COLWELL AVE SUITE 200  
TAMPA FL 33614



Valley Bank  
PLEASE DO NOT MAIL CHECKS  
St Petersburg FL 33716



00412128004121282

## INFORMATION ABOUT YOUR VALLEY ONECARD ACCOUNT

As used below, *you* and *your* refer to the accountholder (i.e., the corporate customer) and *we*, *our* and *us* refer to Valley National Bank. Your Valley OneCard is issued and credit is extended by Valley National Bank.

### MAKING PAYMENTS

You will pay us the total amount shown as due on each Billing Statement on or before the Payment Due Date shown on that Billing Statement. If you do not make payment in full by the payment due date, in addition to our other rights under your Agreement, we may, at our option, assess a late fee and finance charge in accordance with your Agreement. There is no right to defer any payment due on an Account. In addition, you will pay us the amount of all fees and charges according to the schedule of charges currently in effect. All charges are subject to change upon 30 days prior notice, except that any increase in charges to offset any increase in fees charged to us by any supplier for services used in delivering the services covered by your Agreement may become effective in less than 30 days.

Payments will be automatically deducted from the Valley Bank [business checking account] that you have designated. Should payment not be received for any reason, you may incur additional fees and finance charges. All credits for payments to your Account are subject to final payment by the institution on which the item of payment was drawn. Payments on your Account will be applied in the following order: finance charges, fees, your Account balance.

### BALANCE COMPUTATION METHOD

[We calculate the average daily balance on your Account in two categories: (1) Purchases and (2) Cash Advances. To get the "average daily balance" for each category, we take the beginning balance of your Account for that category each day. We then add any new transactions in that category, which may include Fees and Interest. We then subtract any new payments or credits. This gives us the daily balance for each category. We then add up all the daily balances for each category for the billing cycle. We then divide the total by the number of days in the billing cycle. This gives us the Average Daily Balance for Purchases and the Average Daily Balance for Cash Advances.]

### INTEREST

In the event you do not pay your balance(s) in full by the due date, your balance(s) may be subject to an interest rate or interest charges, as further described in your Agreement. Your due date is the 25th of each month. If the 25th falls on a weekend or holiday, your payment will be due the business day before the weekend/holiday. We will not charge you interest if you pay your balance(s) in full by the due date each month.

### CREDIT BALANCE

Any credit balance on your Account] is money we owe you. You can make charges against this amount or request a full refund of the amount by calling us at the Contact Us number on the front of this statement.

### NOTICE TO PAST-DUE CUSTOMERS:

If there is a message on this statement that your account is past due, this is an attempt to collect a debt; any information we obtain will be used for that purpose.

### WHAT TO DO IF YOU THINK YOU FIND A MISTAKE ON YOUR STATEMENT

If you or a Cardholder think there is an error on your statement, call us at (844) 626-6581 international (301) 665-4442. or write to us at: PO Box 2988 Omaha, NE 68103-2988.

You must contact us within 60 days after the error appeared on your statement. Please provide us with the following information:

- *Account information:* Your name and account number.
- *Dollar amount:* The dollar amount of the suspected error.
- *Description of Problem:* Describe what you believe is wrong and why you believe it is a mistake.

While we investigate whether or not there has been an error, the following are true:

- We cannot try to collect the amount in question, or report you as delinquent on that amount.
- The charge in question may remain on your statement, and we may continue to charge you interest on that amount. But, if we determine that we made a mistake, you will not have to pay the amount in question or any interest or other fees related to that amount.
- While you do not have to pay the amount in question, you are responsible for the remainder of your balance.
- We can apply any unpaid amount against your credit limit.

### YOUR RIGHTS IF YOU ARE DISSATISFIED WITH YOUR VALLEY ONECARD PURCHASES

If you are dissatisfied with the goods or services that you have purchased with your Valley OneCard, and you have tried in good faith to correct the problem with the merchant, you may have the right not to pay the remaining amount due on the purchase. To use this right, all of the following must be true:

1. The purchase must have been made in your home state or within 100 miles of your current mailing address, and the purchase price must have been more than \$50.
2. You must have used your Valley OneCard for the purchase. Purchases made with cash advances do not qualify.
3. You must not yet have fully paid for the purchase.

If all of the criteria above are met and you are still dissatisfied with the purchase, contact us *in writing* at PO Box 2988 Omaha, NE 68103-2988 or call us at (844) 626-6581 international (301) 665-444.

While we investigate, the same rules apply to the disputed amount as discussed above. After we finish our investigation, we will tell you our decision. At that point, if we think you owe an amount and you do not pay we may report you as delinquent.

### TELEPHONE MONITORING AND RECORDING.

You acknowledge that telephone calls and other communications you provide to us may be monitored and recorded for training and quality control purposes. You agree that we may, and you authorize us to, monitor, record, retain and reproduce your telephone calls and any other communications you provide to us, regardless of how transmitted to us, as evidence of your authorization to act in connection with any Transaction, your Account or other service contemplated by this Agreement. We will not be liable for any losses or damages that are incurred as a result of these actions. We are not, however, under any obligation to monitor, record, retain or reproduce such items, unless required to do so by Applicable Law.



## TRANSACTIONS (continued)

Tran Date	Post Date	Reference Number	Transaction Description	Amount
10/06	10/06	55310208R8TM9VEJB	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	53.99
10/07	10/07	82305098TEHMQ9EP3	BENQ AMERICA CORP. COSTA MESA CA MCC: 5732 MERCHANT ZIP:	139.00
10/08	10/08	52707158S09FV4DTN	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	36.84
10/09	10/09	55432868S5W8D50HL	AMAZON MKTPL*NF7B87XI1 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	17.57
10/10	10/10	55432868V5WFYTXGT	AMAZON MKTPL*NF77M4IS0 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	20.33
10/10	10/10	55310208W8W67GM5H	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	15.29
10/13	10/13	55310208Z8XZJNSRN	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	19.77
10/13	10/13	55310208Z8XZJNVQ1	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	19.99
10/16	10/16	5543286915YEMAX72	AMAZON MKTPL*NM81W9IQ0 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	94.99
10/16	10/16	054368492BLJ73QHP	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5542 MERCHANT ZIP: 33544	87.92
10/20	10/20	52707159609FRJ3QZ	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	143.24
10/23	10/23	52707159909FSZQNA	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	178.71
10/29	10/29	55310209F96Y7M3LH	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	17.03
10/29	10/29	55310209F96Y7M4SF	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	21.57
10/29	10/29	52707159F09FJ9JDR	HOMEDPOT.COM 800-430-3376 GA MCC: 5200 MERCHANT ZIP: 30339000	19.99
10/30	10/30	55432869F62VF3KBT	STRAIGHTTALK*SERVICES MIAMI FL MCC: 4814 MERCHANT ZIP:	47.60
10/30	10/30	05436849GBLJQQQM0	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5542 MERCHANT ZIP: 33544	80.21
10/30	10/30	11636489G0P92184Q	HUNGRY HARRYS BBQ- LAN LAND O LAKES FL MCC: 5812 MERCHANT ZIP:	29.00
		<b>FATINA TANNOUKHI</b>	<b>TOTAL \$943.27</b>	
09/30	10/01	02305378JEHYPP3G4	OFFICE DEPOT #2603 WESLEY CHAPEL FL MCC: 5943 MERCHANT ZIP: 33543	48.51
10/03	10/03	55483828N0E6MDK29	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	14.72
10/08	10/08	55483828S0EBSBLP6	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	556.14
10/16	10/16	05436849200AAHVAK	DOLLARTREE LUTZ FL MCC: 5331 MERCHANT ZIP: 33559	8.75
10/17	10/17	5548382940ER0P65K	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	287.81
10/20	10/20	054368496BLJ79KXY	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5300 MERCHANT ZIP: 33544	14.16
10/20	10/20	75418239570PY2A71	NETFLIX.COM LOS GATOS CA MCC: 4899 MERCHANT ZIP:	20.19
10/20	10/20	0230537965SDQAMJE	PUBLIX #006 WESLEY CHAPEL FL	20.45

Transactions continued on next page

**TRANSACTIONS (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
10/28	10/28	55483829E0F3W3RRM	MCC: 5411 MERCHANT ZIP: 33544 SAMSCLUB #4852 WESLEY CHAPEL FL CREDIT MCC: 5300 MERCHANT ZIP: 33544	27.46-
		<b>THERESA DIMAGGIO</b>	<b>TOTAL \$833.65</b>	
10/01	10/01	15276328K00A72060	SUPERSAAS * B AMSTERDAM DR MCC: 5045 MERCHANT ZIP:	18.00
10/11	10/11	75418238W704JE2D3	CCI*CONSTANT-CONTACT WALTHAM MA MCC: 5968 MERCHANT ZIP:	131.00
10/13	10/13	57540248YLPF6965V	VISTAPRINT 8662074955 MA MCC: 2741 MERCHANT ZIP: 02451	104.97
10/18	10/18	0230537942X90ML46	PUBLIX #1142 LAND O LAKES FL MCC: 5411 MERCHANT ZIP: 34638	19.48
10/21	10/21	5548382970EVRPB32	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	47.92
10/21	10/21	555003696F6QY2BDF	WALMART.COM WALMART.COM AR MCC: 5310 MERCHANT ZIP: 72716	9.08
10/21	10/21	15270219600EXGKHT	MICROSOFT-G119948893MSBILL.INFO WA MCC: 5045 MERCHANT ZIP:	8.25
10/23	10/23	5548382990EYQNG8Z	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	73.64
10/24	10/24	15276329A00AEEGH9	SUPERSAAS * C AMSTERDAM DR MCC: 5045 MERCHANT ZIP:	28.00
10/24	10/24	15270219901ATAV6R	GOOGLE YOUTUBE TV MOUNTAIN VIEW CA MCC: 4899 MERCHANT ZIP:	56.71
10/27	10/27	55483829D0F369XRK	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	228.52
10/27	10/27	55436879Q513YNRQF	HOLLOWAYS FARM SUPPLY LAND O LAKES FL MCC: 5995 MERCHANT ZIP: 34639	59.94
10/29	10/29	05436849F5SA77ZVJ	WALMART.COM 8009256278 BENTONVILLE AR MCC: 5310 MERCHANT ZIP:	48.14

**IMPORTANT ACCOUNT INFORMATION**

\$0 - \$4,121.28 WILL BE DEDUCTED FROM YOUR ACCOUNT AND  
CREDITED AS YOUR AUTOMATIC PAYMENT ON 11/25/25. THE  
AUTOMATIC PAYMENT AMOUNT WILL BE REDUCED BY ALL PAYMENTS  
POSTED ON OR BEFORE THIS DATE.

**REWARDS SUMMARY**

Previous Cashback Balance	\$60.70	THE MORE YOU SPEND, THE MORE YOU EARN
Cashback Earned this Statement	\$10.30	\$0-\$500,000 = 0.25%
New Cashback Balance	\$71.00	\$500,001-\$1,500,000 = 0.60%
Your cashback will be award on	Feb 2026	\$1,500,00-\$4,000,000 = 0.75%
		\$4,000,001-\$12,500,000 = 0.90%
		\$12,500,001+ = 1.00%

**INTEREST CHARGE CALCULATION**

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Type of Balance	ANNUAL PERCENTAGE RATE (APR)	Balance Subject to Interest Rate	Days in Billing Cycle	Interest Charge
Purchases	14.25% (v)	\$0.00	31	\$0.00

(v) = variable (f) = fixed

**Paying Interest and Your Grace Period:** We will not charge you any interest on your purchase balance on this statement if you pay your new balance amount in full by your payment due date.

1-2

8/14



**Seven Oaks CDD Credit Card**  
**Combined Totals**  
**10/31/25 Statement**

	<b>General Fund</b>	<b>Enterprise Fund</b>	
Theresa Card	\$ 516.28	\$ 317.37	
John Card	\$ 2,344.36		
Fatina Card	\$ 382.40	\$ 560.87	
Total	\$ 3,243.04	\$ 878.24	
Grand Total	\$ 4,121.28		
Statement Total	\$ 4,121.28		
001-57400-4775	103.72	385.84	400-57200-4664
001-57200-4619	2.50	317.00	400-57200-4724
001-57200-4704	103.01	167.40	400-57200-3222
001-57200-4103	76.90	8.00	400-57200-4613
001-51300-5102	177.00		
001-57200-5101	161.73		
001-57200-4785	273.82		
001-57200-4647	204.03		
001-57200-4660	253.02		
001-53900-4670	271.80		
001-53900-4785	1,593.94		
001-53900-4616	-		
001-53900-4609	21.57		
001-57200-4763	-		

Seven Oaks CDD Credit Card  
Fatina Tannoukhi  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	Office Depot	Shredding	001-57200-5101	\$ 48.51	Y	Y
10/3/2025	Sam's	Event Supplies	001-57400-4775	\$ 14.72	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-4664	\$ 154.08	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-4724	\$ 158.80	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-3222	\$ 48.86	Y	Y
10/8/2025	Sam's	Food for Staff	001-57200-4785	\$ 194.40	Y	Y
10/16/2025	Dollar Tree	First Aid Supplies	001-57200-4619	\$ 2.50	Y	Y
10/16/2025	Dollar Tree	Event Supplies	001-57400-4775	\$ 6.25	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-4664	\$ 36.63	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-4724	\$ 56.80	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-3222	\$ 133.16	Y	Y
10/17/2025	Sam's	Facility Supplies	001-57200-4704	\$ 61.22	Y	Y
10/20/2025	Sam's	Event Supplies	001-57400-4775	\$ 14.16	Y	Y
10/20/2025	Netflix	Subscription	001-57200-4103	\$ 20.19	Y	Y
10/20/2025	Publix	Event Supplies	001-57400-4775	\$ 20.45	Y	Y
10/28/2025	Sam's	Refund-Café supplies	400-57200-3222	\$ (27.46)	Y	Y

10/31/25 Statement

001-10103	
Total activity	943.27
Replenish card	-
Credit/Refund	-
Total charges	943.27
\$	943.27

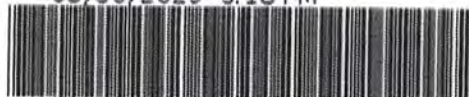
0	Expense Summary		GF	EF
	001-57400-4775	(55.58)	382.40	560.87
	001-57200-4619	(2.50)		
	001-57200-4704	(61.22)		
	001-57200-5101	(48.51)		
	001-57200-4103	(20.19)		
	001-57200-4785	(194.40)		
	400-57200-4664	(190.71)		
	400-57200-4724	(215.60)		
	400-57200-3222	(154.56)		
	001-57200-4646			
	001-57200-4701			
	001-57200-4705			
	001-57200-4707	-		
		(943.27)		

TRUE

# Office DEPOT. OfficeMax®

WESLEY CHAPEL - (813) 994-4131

09/30/2025 3:18 PM



EVTVTP34P3UY466XR8

SALE 2603-4-3334-1006067-24.8.1

210762 SHRED PER POUN

49 @ 0.99 48.51

**You Pay 48.51SS**

Subtotal: 48.51

Total: 48.51

MasterCard 6402: 48.51

AUTH CODE 030078

TDS Chip Read

AID A0000000041010 Mastercard

TVR 0000008000

CVS No Signature Required

-----  
Tax Exemption Number 57069521

\*\*\*\*\*  
Shop online at [www.officedepot.com](http://www.officedepot.com)  
\*\*\*\*\*

**WE WANT TO HEAR FROM YOU!**

Visit [survey.officedepot.com](http://survey.officedepot.com)

and enter the survey code below

175V FJGE 3G6T

or scan the below QR code



\*\*\*\*\*





Oct 2, 2025

Order 10351741503



**Curbside pickup items(1)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

OREO Fall Treats Orange Creme Sandwich Cookies, 1.02 oz., 40 pk.	Qty 1	\$14.72
--	-------	---------

<b>Subtotal</b>	\$14.72
-----------------	---------

Pickup fee	Free
------------	------

<b>Sales tax</b>	\$0.00
------------------	--------

<b>Total</b>	<b>\$14.72</b>
--------------	----------------

*6402	\$14.72
-------	---------

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



Oct 6, 2025

Order 10353239319



### Shipping items(5)

**THERESA FLORES**

2910 SPORTS CORE CIR

WESLEY CHAPEL, FL 33544

*Staff  
Cups* Dixie to go Insulated Paper Cups, Choose Size Qty 1 \$75.98

*Staff  
Lids* WinCup 16 Series White Plastic Drink Thru Tear Back Lids with Straw Slot, 1000 ct. Qty 1 \$27.46

*Staff  
Coffee* Tim Hortons Premium Medium Roast K-Cup Coffee Pods, Original Blend, 100 ct. Qty 2 \$90.96

*Coffee  
Supplies* Member's Mark Stainless Steel Airpot with Lever (2.2 L) Qty 1 \$21.98

### Curbside pickup items(19)

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

*B* Yoo-hoo Chocolate Drink 11 fl. oz., 24 pk. Qty 1 \$13.78

*F* Pepperidge Farm Goldfish Cheddar Crackers, 1.25 oz., 36 pk. Qty 1 \$12.48

*F* REESE'S Milk Chocolate Peanut Butter Cups, 1.5 oz., 36 pk. Qty 1 \$41.72

*F* Ball Park Tailgaters Crustini Buns 32 oz., 12 ct. Qty 2 \$8.84


*B* Dr Pepper Soda 12 fl. oz., 30 pk. Qty 1 \$14.48

*B* Coca-Cola Soft Drink 12 fl. oz., 35 pk. Qty 2 \$35.76

*B* Diet Coke Soda Soft Drink, 12 fl. oz., 35 pk. Qty 1 \$19.38

Cable  
Supplies

Member's Mark Foam Cups 16 oz., 500 ct.	Qty 1	\$26.88
SNICKERS Chocolate Caramel Peanut Butter Ice Cream Bars, Frozen, 2 oz., 24 ct.	Qty 1	\$12.36
Pure Leaf Real Brewed Tea Unsweetened Black Tea 16.9 fl. oz., 18 pk.	Qty 2	\$33.96
S.Pellegrino Sparkling Natural Mineral Water 16.9 fl. oz., 24 pk.	Qty 1	\$21.48
HERSHEY'S Milk Chocolate Candy Bars, 1.55 oz., 36 pk.	Qty 1	\$41.72
HERSHEY'S Chocolate Syrup, 48 oz., 2 pk.	Qty 2	\$19.96
Nerds Gummy Clusters Candy, Share Size, 3 oz., 12 pk.	Qty 1	\$18.48
SunChips Whole Grain Variety Pack Chips, 30 pk.	Qty 1	\$18.48

<b>Subtotal</b>	\$556.14
Pickup fee	Free
Shipping	Free
<b>Sales tax</b>	\$0.00
<b>Total</b>	<b>\$556.14</b>
 *6402	\$556.14

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available

Food - 154.08  
 Beverage - 158.80  
 Staff - 194.40  
 Cable Supplies - 48.86



# **DOLLAR TREE**

Store# 7816  
 25653 Sierra Center Blvd (656) 201-6495  
 Lutz FL 33559-7607

DESCRIPTION	QTY	PRICE	TOTAL
ARC ANTISEPTIC SPRAY PUMP 6Z	1	1.25	1.25N
SWAN IPA 70% 16Z	1	1.25	1.25N
CANDY CORN BAG 6Z	1	1.25	1.25N
CANDY CORN BAG 6Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N

Sub Total \$8.75  
 GENERAL EXEMPT MERC \$0.00  
 PUF/PIF \$0.00  
 SALES TAX \$0.00  
 Total \$8.75  
 Mastercard \$8.75

\*\*\*\*\*6402 Approved  
 Purchase Chip  
 Auth/Trace Number: 016160/015986  
 Chip Card AID: A0000000041010

\*\*\*\* Tax Exempt \*\*\*\*  
 ID #: 2435151339

NOW SHOP ON-LINE AT DOLLARTREE.COM  
 Please provide your feedback at  
 www.dollartreefeedback.com

2788 07816 01 011 28022847 10/16/25 19:20  
 Sales Associate: Victor



Oct 16, 2025

Order 10357501765



**Curbside pickup items(21)**



**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

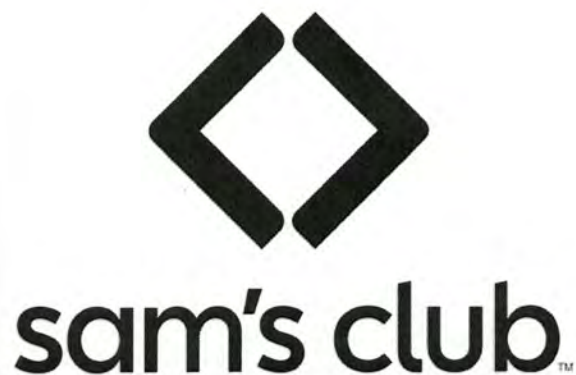
Wesley Chapel, FL 33544

B	Zephyrhills 100% Natural Spring Water, 20 fl. oz., 28 pk.	Qty 3	\$20.94
Clean	Clorox Performance Bleach, 3 ct., 363 fl. oz.	Qty 1	\$19.48
B	Dr Pepper Soda 12 fl. oz. cans, 36 pk.	Qty 1	\$17.98
F	Member's Mark Beef Franks, 4 oz., 12 ct.	Qty 1	\$12.96
F	Sara Lee Restaurant Style White Hot Dog Buns, 16 ct.	Qty 1	\$3.58
F	Twix Caramel Cookie Chocolate Candy Bars, Full Size, 1.79 oz., 36 pk.	Qty 1	\$39.98
C.S	Member's Mark Everyday 1-Ply White Napkins 4 pks., 300 napkins/pk.	Qty 1	\$12.84
C.S	Members Mark Heavy Duty Paper Food Trays, 2 lbs., 750 ct.	Qty 1	\$21.94
C.S	Member's Mark Ultra Lunch Paper Plates, 8.5", 300 ct.	Qty 1	\$20.98
C.S	Member's Mark Ultra Dessert/Snack Paper Plates, 6.875", 330 ct.	Qty 1	\$16.98
C.S	Ziploc Stay Open Design Gallon Freezer Bags, 152 ct.	Qty 1	\$15.48
B	Coca-Cola Soft Drink 12 fl. oz., 35 pk.	Qty 1	\$17.88
C.S	Member's Mark White Plastic Forks, Heavyweight 600 ct.	Qty 1	\$14.98
C.S	Member's Mark White Plastic Knives, Heavyweight, 600 ct.	Qty 1	\$14.98

C.S	Member's Mark Heavyweight White Plastic Spoons, 600 ct.	Qty 1	\$14.98
Clean	Clorox Disinfecting Cleaning Wipes, Variety Pack, 5 ct., 425 wipes	Qty 1	\$18.78
Clean	Lysol Advanced Toilet Bowl Gel Cleaner 32 fl. oz., 4 pk.	Qty 2	\$22.96
F	Don Lee Farms Flame Grilled Angus Choice Beef Patties, Frozen, 1/4 lb., 12 ct.	Qty 1	\$22.48
<b>Subtotal</b>			\$333.18
Pickup fee			Free
<b>Sales tax</b>			\$0.00
<b>Total</b>			<b>\$330.18</b>
	Sam's Cash		\$42.37
	*6402		\$287.81

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available





CLUB MANAGER JASON  
8139297010

WESLEY CHAPEL, FL  
10/20/25 12:04 1605 4852 92

0000362153	BANANAS	
2 AT 1 FOR 1.47		2.94 O
0000457334	CLEMENTINES	7.26 O
0000061971	MINI CUCUMB	3.96 O
	SUBTOTAL	14.16
TAX 12	0 %	0.00
	TOTAL	14.16
MASTERCARD CREDIT TEND		14.16
MASTERCARD	**** * 6402	
	CHANGE DUE	0.00

# ITEMS SOLD 4

TC# 1260 4873 4674 1316 4009



10/20/25 12:04

Download

Print Receipt



Netflix, Inc.  
121 Albright Way  
Los Gatos, CA 95032, USA

clubhousemanager@sevenoakscdd.com

Invoice # 5E38D-0860A-43C9D-246C3

Date	Description	Service Period	Amount	Tax	Total
10/20/25	Streaming Service	10/20/25—11/19/25	\$17.99	\$2.20	\$20.19
			SUBTOTAL	\$17.99	
			TAX TOTAL	\$2.20	
			TOTAL	\$20.19	

Payment Method:  ..... 6402

# Publix

Shoppes at New Tampa  
1920 County Road 581  
Wesley Chapel, FL 33544-9262  
(813) 994-4566  
Store Manager: Michael Barton

Publix Mini Marshmallows	F	1.59
Apple Slices Sweet	F	4.69
Apple Slices Sweet	F	4.69
Bc Frst Oreo Creme	F	3.49
Bc Frst Rch Crmy Crm Chz	F	0.00
You saved: \$2.85		
Pub Mrsls Mlk Chc	F	5.99
Subtotal		20.45
Total Tax		0.00
Total		20.45
Credit		20.45
Change		0.00

\*\*\*\*\*  
**SAVINGS: \$2.85**  
\*\*\*\*\*

MasterCard: \*6402 \$20.45  
Credit Card Purchase  
Auth/Trace: 020559/059718 Chip Read  
Reference: 007011810478  
A0000000041010  
Mastercard

10/20/2025 12:47PM  
Thank you for shopping at store 0006  
Your cashier today was cheryl.  
9280, 0105, 210

Club Publix members save more.  
Join today at [clubpublix.com/newmember](http://clubpublix.com/newmember).  
Terms & conditions apply.

Publix Super Markets, Inc.







(813) 929-7010  
Wesley chapel, FL

## EXPRESS RETURNS

10/28/2025 7:10:00 /PM 4852 38 9998

THERESA 101\*\*\*\*\*1119

536095	WinCupWhite		27.46-
	SUBTOTAL		27.46-
	TAXES		0.00-
	TOTAL		27.46-

Refunded 27.46 to # Mastercard Tender \*\*\*\* 6  
402



\*so-10353239319\*

Visit [samsclub.com](https://www.samsclub.com) to see your savings

Seven Oaks CDD Credit Card  
Theresa Dimaggio  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	SuperSaas	Reservation system subscription	001-51300-5102	\$ 18.00	Y	Y
10/11/2025	Constant Contact	Subscription	001-51300-5102	\$ 131.00	Y	Y
10/13/2025	Vistaprint	Business cards/guest passes	001-57200-5101	\$ 104.97	Y	Y
10/18/2025	Publix	Food for staff	001-57200-4785	\$ 19.48	Y	Y
10/21/2025	Sam's	Cafe supplies	400-57200-4664	\$ 47.92	Y	Y
10/21/2025	Wal-Mart	Facility supplies	001-57200-4704	\$ 9.08	Y	Y
10/21/2025	Microsoft	Subscription	001-57200-5101	\$ 8.25	Y	Y
10/23/2025	Sam's	Cafe supplies	400-57200-4664	\$ 65.64	Y	Y
10/23/2025	Sam's	Cafe supplies	400-57200-4613	\$ 8.00	Y	Y
10/24/2025	SuperSaas	Reservation system subscription	001-51300-5102	\$ 28.00	Y	Y
10/24/2025	Youtubetv	Subscription	001-57200-4103	\$ 56.71	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-4664	\$ 81.57	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-4724	\$ 101.40	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-3222	\$ 12.84	Y	Y
10/27/2025	Sam's	Facility supplies	001-57200-4704	\$ 32.71	Y	Y
10/27/2025	Holloway's Farm Supply	Straws stacks	001-57200-4785	\$ 59.94	Y	Y
10/29/2025	Wal-Mart	Event Supplies	001-57400-4775	\$ 48.14	Y	Y

10/31/25 Statement

001-10103	
Total activity	833.65
Replenish card	-
Credit/Refund	-
Total charges	833.65
\$	833.65

0	Expense Summary			
	001-57400-4775	(48.14)	GF	EF
	001-57200-4619	-	516.28	317.37
	001-57200-4704	(41.79)		
	001-57200-4103	(56.71)		
	001-51300-5102	(177.00)		
	001-57200-5101	(113.22)		
	001-57200-4785	(79.42)		
	400-57200-4664	(195.13)		
	400-57200-4724	(101.40)		
	400-57200-3222	(12.84)		
	400-57200-4613	(8.00)		
	001-57200-4701	-		
	001-57200-4705	-		
	001-57200-4707	-		
		(833.65)		

TRUE



## Invoice

To:  
Seven Oaks CDD  
Theresa DiMaggio  
United States

SuperSaaS B.V.  
Strawinskylaan 6  
1077 XZ Amsterdam  
The Netherlands  
VAT ID: NL851261474B01  
payments@supersaas.com

Invoice date: 10/1/2025  
Invoice number: 20251001-575085-575618  
Customer reference: 575085 – Seven Oaks Clubhouse

Item	VAT	Amount
Package B – Cycle: 1 Month No value added tax will be charged (outside European Union)	\$ 0.00	\$ 18.00

Subtotal (excluding tax)	\$ 18.00
VAT	\$ 0.00
Total (including tax)	<b>\$ 18.00</b>

**Paid in full via Credit Card**



## Theresa Clubhouse Manager

---

**From:** Constant Contact Billing <notification@constantcontact.com>  
**Sent:** Saturday, October 11, 2025 3:05 AM  
**To:** Theresa Clubhouse Manager  
**Subject:** Constant Contact Payment Receipt for Theresa DiMaggio



# Payment Receipt for October 11, 2025

Thank you for your recent payment. Your payment receipt is found below.

Attention: Theresa DiMaggio  
Seven Oaks CDD  
3434 Colwell Ave  
suite 200  
Tampa, FL 33614  
US  
813-907-7987

**User Name:** clubhousemanager@sevenoakscdd.com

**Today's Date:** October 11, 2025

**Payment Date:** October 11, 2025

**Payment Method:** MC (last 4 digits: 7026)

**Amount:** \$131.00

Thank you for your payment!

[Back to history](#)

Order details

clubhousemanager@sevenoakscdd.com


Order #: VP\_K73Q20ZH

Order date: October 13th 2025

[Print order details](#)

Shipping method	Shipping address	Billing address	Payment method	
Economy Estimated arrival Oct 28th	Theresa DiMaggio Seven Oaks 2910 Sports Core Circle Wesley Chapel, Florida 33544-8764 United States of America 8139077987	Theresa DiMaggio 3434 Colwell Ave, Suite 200 Tampa, Florida 33614 United States of America 8139077987	 Mastercard	\$104.97

Items



Standard Business Cards

Quantity: 100

In transit

Expected delivery: Tuesday, Oct 21

Check status

Order summary

Subtotal \$104.97

[Savings](#) -\$0.00

Shipping: Economy [FREE](#)

Total paid \$104.97

Selected options


Item total \$20.99

[Buy now](#) [Add to cart](#) [Edit design & reorder](#)

[Write a review](#)

[More products with this design](#)

[Shop the collection](#)



Standard Business Cards

Quantity: 250

In transit

Expected delivery: Tuesday, Oct 21

Check status

Selected options

Item total \$36.99

[Buy now](#) [Add to cart](#) [Edit design & reorder](#)

[Write a review](#)


Standard Business Cards

Quantity: 500

In transit

Expected delivery: Tuesday, Oct 21

Check status

 Chat with us

# Publix

Arbor Square at Connerton  
7830 Land O Lakes Blvd  
Land O Lakes, FL 34638-5701  
(813) 996-3391  
Store Manager: David Jones

Cafe Bstl Inst Jar	F	9.49
Nescafe Gld Espro Blonde	F	9.99
You saved: \$1.80		

Subtotal	19.48
Total Tax	0.00
Total	19.48
Credit	19.48
Change	0.00

\*\*\*\*\*  
**SAVINGS: \$1.80**  
\*\*\*\*\*

MasterCard: \*7026 \$19.48  
Credit Card Purchase  
Auth/Trace: 018063/052624 Chip Read  
Reference: 002545147586  
A0000000041010  
Mastercard

10/18/2025 07:49PM  
Thank you for shopping at store 1142  
Your cashier today was Jeannie.  
3827, 0105, 265

Club Publix members save more.  
Join today at [clubpublix.com/newmember](http://clubpublix.com/newmember).  
Terms & conditions apply.

Publix Super Markets, Inc.



1142 AIQ 053 827





Oct 20, 2025

Order 10359145835



**Curbside pickup items(4)**

**Wesley Chapel Sam's Club**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

**Date**

Member's Mark Canola Oil, 192 fl. oz.

Qty 4

\$47.92

**Subtotal**

\$47.92

Pickup fee

Free

**Sales tax**

\$0.00

**Total**

**\$47.92**



\*7026

\$47.92

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



Oct 16, 2025 order  
Order# 2000139-10383492




Lime-A-Way Lime Calcium Rust Cleaner, 22 oz

Qty 1 \$8.49

**Subtotal** **\$8.49**

Tax \$0.59

**Total** **\$9.08**

 **Charge history** Your transaction activity for this order >

Payment method



Your payment method has a temporary hold for \$9.08. An updated charge will appear on your statement within 10 business days.



# Invoice

Microsoft Corporation  
One Microsoft Way  
Redmond WA 98052  
United States  
FEIN: 91-1144442

**Sold To**  
Seven Oaks CDD  
2910 Sports Core Cir  
WESLEY CHAPEL  
FL  
33544-8764  
US

**Bill To**  
Seven Oaks CDD  
3434 Colwell Ave  
Ste 200  
Tampa  
FL  
33614-8390  
US

## Invoice Summary

Billing Profile	Seven Oaks CDD
Invoice Number	G119948893
Invoice Date In UTC	10/21/2025

<b>Total Amount</b> <b>Due on 10/21/2025</b>	<b>USD 8.25</b>
---	-----------------

Questions on your bill? Visit <https://aka.ms/invoice-billing>

## Invoice for activity on 10/20/2025

This invoice is for any subscription purchases, renewals, and recurring charges on the date indicated. The service period you are paying for is listed with each subscription below. Find more details about your bill at

<https://admin.microsoft.com/Adminportal/Home#/billoverview/invoice-list/G119948893>

## Billing Summary

Charges	8.25
Subtotal	8.25
Sales Tax (0.00%)	0.00
<b>Total</b>	<b>USD 8.25</b>

Your account has a credit card on file and there is no action for you to take. The card you have on file will be charged.

Payment should only be made by Electronic Funds Transfer.  
Do not send any physical payment to any address on this invoice.





Oct 22, 2025

Order 10359691638



**Shipping items(1)**

**THERESA FLORES**

2910 SPORTS CORE CIR

WESLEY CHAPEL, FL 33544

WinCup 18 Series 12-24 oz. Plastic Lids for 18 Series Foam Cups, Tear Tab + Straw Slot 1000 ct.	Qty 1	\$29.68
--	-------	---------

**Curbside pickup items(2)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

Member's Mark Battered Mozzarella Sticks, Frozen 6 lbs.	Qty 2	\$35.96
---	-------	---------

<b>Subtotal</b>	\$65.64
-----------------	---------

Pickup fee	Free
------------	------

Shipping	\$8.00
----------	--------

<b>Sales tax</b>	\$0.00
------------------	--------

<b>Total</b>	<b>\$73.64</b>
--------------	----------------

*7026	\$73.64
-------	---------

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



## Invoice

To:  
Seven Oaks CDD  
Theresa DiMaggio  
United States

SuperSaaS B.V.  
Strawinskylaan 6  
1077 XZ Amsterdam  
The Netherlands  
VAT ID: NL851261474B01  
payments@supersaas.com

Invoice date: 10/24/2025  
Invoice number: 20251024-575085-578953  
Customer reference: 575085 – Seven Oaks Clubhouse

Item	VAT	Amount
Package C – Cycle: 1 Month No value added tax will be charged (outside European Union)	\$ 0.00	\$ 28.00

Subtotal (excluding tax)	\$ 28.00
VAT	\$ 0.00
Total (including tax)	<b>\$ 28.00</b>

**Paid in full via Credit Card**



← **Charges on Oct 24, 2025**

**Payment method**

Mastercard \*\*\*\* 7026

**Base Plan**

\$49.99

**Tax** \$6.72

**Total** \$56.71





Oct 26, 2025

Order 10361219545



**Curbside pickup items(14)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

F	AirHeads Variety Pack, 0.55 oz., 90 pk.	Qty 1	\$14.68
F	Totino's Frozen Pizza Rolls, Pepperoni 160 ct.	Qty 1	\$11.47
CS	Member's Mark Everyday 1-Ply White Napkins 4 pks., 300 napkins/pk.	Qty 1	\$12.84
Clean	Member's Mark Select & Tear 2-Ply Paper Towel 15 rolls, 150 sheets/roll	Qty 1	\$20.93
B	Gatorade Sports Drinks Variety Pack, 20 fl. oz., 24 pk.	Qty 2	\$36.96
F	Member's Mark Real Crumbled Bacon, 20 oz.	Qty 2	\$17.96
B	Gatorade Zero Sugar Thirst Quencher Variety Pack, 20 fl. oz., 24 pk.	Qty 1	\$18.48
Clean	Dial Antibacterial Foaming Hand Soap, Spring Water, 7.5 fl. oz., 4 pk.	Qty 1	\$11.78
B	S.Pellegrino Sparkling Natural Mineral Water 16.9 fl. oz., 24 pk.	Qty 2	\$45.96
F	SunChips Whole Grain Variety Pack Chips, 30 pk.	Qty 1	\$18.48
F	Lay's Classic Potato Chips, 1 oz., 50 pk.	Qty 1	\$18.98

<b>Subtotal</b>	\$228.52
Pickup fee	Free
<b>Sales tax</b>	\$0.00
<b>Total</b>	<b>\$228.52</b>

# HOLLOWAY'S FARM SUPPLY

3036 Land O' Lakes Blvd.  
Land O' Lakes, FL 34639  
(813) 949-6809  
(813) 949-0774 Fax

MAILING ADDRESS  
9638 Ehren Cutoff  
Land O' Lakes, FL 34639

To 1 MIA  
Phone 813 967 7987 Date 10/27/25  
Address EY4 Terms \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

QTY.	DESCRIPTION	PRICE	TOTAL
6	Staw	59.94	

CUSTOMER'S SIGNATURE \_\_\_\_\_

ALL PURCHASES MADE BY YOU IN ANY ONE MONTH ARE PAYABLE ON OR BEFORE THE TENTH OF THE FOLLOWING MONTH. NO ACCOUNT WILL BE INCREASED AFTER THE 20TH OF THE MONTH.

HOLLOWAYS FARM SUPPL  
3036 LAND O LAKES BLVD  
LAND O LAKES, FL. 34639  
813-949-6809

Sale

xxxxxxxxxxxx7026  
MASTERCARD

Entry Method: Manual

Total: \$ 59.94

10/27/25

13:33:37

Inv #: 000000024

Appr Code: 027550

Apprvd: Online

AVS Code: ZIP MATCH Z

CVV2 Code: MATCH M

Customer Copy  
THANK YOU!



Oct 29, 2025 order  
Order# 2000139-19098035



Kanstar Solar Powered Adjustable Vintage Street Lamp Post Light, White, 42", 2 Pack

Qty 1    \$44.99

**Subtotal**

**\$44.99**

Tax

\$3.15

**Total**

**\$48.14**



**Charge history** Your transaction activity for this order



Payment method





Seven Oaks CDD Credit Card  
John Gentilella  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	Sam's	Gasoline	57200-4660	\$ 84.89	Y	Y
10/3/2025	Paratec Door Solutions	Garage Door repair	53900-4785	\$ 272.00	Y	Y
10/3/2025	BenQ	Projector	53900-4785	\$ 749.00	Y	Y
10/4/2025	Home Depot	Sandpaper/Texture	53900-4785	\$ 21.64	Y	Y
10/6/2025	Amazon	Projector Stand/Screen	53900-4785	\$ 173.79	Y	Y
10/6/2025	Ace Hardware	Shower Valve	57200-4647	\$ 53.99	Y	Y
10/7/2025	BenQ	Projector Dongle	53900-4785	\$ 139.00	Y	Y
10/8/2025	Home Depot	Boards	53900-4670	\$ 36.84	Y	Y
10/9/2025	Amazon	Zipties/sharpener	53900-4785	\$ 17.57	Y	Y
10/10/2025	Amazon	Cap/aerators	53900-4785	\$ 20.33	Y	Y
10/10/2025	Ace Hardware	Shower Handle	57200-4647	\$ 15.29	Y	Y
10/13/2025	Ace Hardware	Shower heads/key	57200-4647	\$ 19.77	Y	Y
10/13/2025	Ace Hardware	Flex seal/fittings	53900-4785	\$ 19.99	Y	Y
10/16/2025	Amazon	A/C filters	57200-4647	\$ 94.99	Y	Y
10/16/2025	Sam's	Gasoline	57200-4660	\$ 87.92	Y	Y
10/20/2025	Home Depot	Bug spray	53900-4785	\$ 15.08	Y	Y
10/20/2025	Home Depot	Boards	53900-4670	\$ 128.16	Y	Y
10/23/2025	Home Depot	Road Patch	53900-4785	\$ 71.91	Y	Y
10/23/2025	Home Depot	Boards	53900-4670	\$ 106.80	Y	Y
10/29/2025	Ace Hardware	Brushes/nuts/bolts/fasteners	53900-4785	\$ 17.03	Y	Y
10/29/2025	Ace Hardware	Concrete	53900-4609	\$ 21.57	Y	Y
10/29/2025	Home Depot	Backup battery	57200-4647	\$ 19.99	Y	Y
10/30/2025	Straight Talk	Cell phone	53900-4785	\$ 47.60	Y	Y
10/30/2025	Sam's	Gasoline	57200-4660	\$ 80.21	Y	Y
10/30/2025	Hungry Harrys	Food for staff	53900-4785	\$ 29.00	Y	Y

10/31/25 Statement

001-10103	
Total activity	2,344.36
Replenish card	-
Credit/Refund	-
Total charges	<u>2,344.36</u>
\$	<b>2,344.36</b>

0	Expense Summary		GF	EF
	57200-4647	(204.03)		
	57200-4660	(253.02)		2,344.36
	53900-4670	(271.80)		
	53900-4616	-		
	53900-4609	(21.57)		
	57200-4763	-		
	53900-4785	<u>(1,593.94)</u>		
		<u>(2,344.36)</u>		

TRUE

Sep 30, 2025 7:33 AM CDT

Transaction 92904057499417199009 \$84.89 In-club

Wesley chapel Sam's Club - 27727 State Road 56, Wesley chapel, FL 33544, +1 (813) 929-7010

Item	Qty	Price (Incl Savings)
UNLEAD GASOLINE <u>Item ID: 658441</u>	1	\$84.89 \$84.89 each

Summary

Subtotal	\$84.89
Total Savings	\$0.00
Gift Options	\$0.00
Sales Tax	\$0.00

Payment

Total Charged to Card	\$84.89
-----------------------	---------

Method

Card ending in *0283	\$84.89
----------------------	---------

CODE:  
4660



PARATEC DOOR SOLUTIONS INC.  
PO BOX 187  
TARPON SPRINGS, FL 34688  
OFFICE.PARATECDOOR@GMAIL.COM

## Invoice

**BILL TO**

SEVEN OAKS  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FLORDIDA  
33614

**SHIP TO**

SEVEN OAKS  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FLORDIDA  
33614

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
10751	10/03/2025	\$0.00	11/02/2025	Net 30	

ACTIVITY	AMOUNT
<b>SERVICE</b> 10/2/25 SERVICED (3) JANUS DOORS. SERVICED, ADJUSTED, INSPECTED AND LUBED ALL DOORS. ALL DOORS ARE OPERATIONAL.	260.00
<b>MATERIALS</b> LUBE	12.00T

PAID

Thank you for your business!

SUBTOTAL	272.00
TAX	0.00
TOTAL	272.00
PAYMENT	272.00
BALANCE DUE	<b>\$0.00</b>

Pay invoice

**CODE: 4785**



Invoice # 7000012520  
Order # BBU76000014112  
Order Date: Oct 2, 2025

Sold to:	Ship to:
John Gentilella Seven Oaks CDD 3434 Colwell Ave Ste 200 Tampa, Florida, 33614 United States T: 8132307987	John Gentilella Seven Oaks CDD 2910 Sports Core Cir Wesley Chapel, Florida, 33544 United States T: 8132307987

Payment Method:	Shipping Method:
Online invoice payment	FedEx - Ground  (Total Shipping Charges \$0.00)

Products	SKU	Price	Qty	Tax	Subtotal
BenQ MH733 1080p 4000 ANSI Lumens Projector	MH733-001	\$749.00	1	\$0.00	\$749.00

Subtotal: \$749.00  
Estimated Total: \$749.00

Code: 4785  
Projector for CDD and  
SOPOA meetings



CODE:  
4785

**How doers  
get more done.**

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00007 69786 10/04/25 12:38 PM  
SALE CASHIER CAROLINE

033873211129 STEEL WOOL <A> 4.98N  
#2 M COARSE STL WOOL PAD 12PK  
678885214272 SINGLES HOT 1 <A> 9.98N  
SINGLE SHOT WALL TEXT 3013 120Z  
638060853542 PGP1/2 220 <A> 6.68N  
3M PGP 3.7X9 SANDPAPER 220 GRIT 6PK

SUBTOTAL 21.64  
SALES TAX 0.00

TAX EXEMPT

TOTAL \$21.64

XXXXXXXXXXXX0283 MASTERCARD

USD\$ 21.64

AUTH CODE 004058/4070415

TA

Chip Read

AID A0000000041010

Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: 0

2025 PRO XTRA SPEND 10/03: \$827.01

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6311 10/04/25 12:38 PM



6311 07 69786 10/04/2025 5398

RETURN POLICY DEFINITIONS

POLICY ID DAYS POLICY EXPIRES ON  
A 1 90 01/02/2026

# Order Summary

Order placed October 6, 2025    Order # 111-7816912-6370642

**Ship to**

John Gentilella  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764  
United States

**Order Summary**

Item(s) Subtotal:	\$173.79
Shipping & Handling:	\$0.00
Total before tax:	\$173.79
Estimated tax to be collected:	\$0.00
<b>Grand Total:</b>	<b>\$173.79</b>

**Delivered October 7**

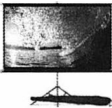
Your package was delivered. It was handed directly to a resident.  
Signed by: Desk



Projector Stand Tripod Adjustable, Laptop Height from 23.5 to 46.5 inches with Gooseneck Phone Holder, Floor for Office, Home, Stage, Studio, DJ Racks Holder Mount, 23.Sinch-46.Sinch  
Sold by: Tanenuos Direct  
Supplied by: Other  
Return or replace items: Eligible through November 6, 2025  
\$29.98

**Delivered October 7**

Your package was left near the front door or porch.



PropVue Projector Screen with Stand 84" - Indoor & Outdoor Projection Screen for Movie or Office Presentation - 16:9 HD Premium Wrinkle-Free Tripod Screen for Projector with Carry Bag & Tight Strap  
Sold by: PropVue  
Return or replace items: Eligible through November 6, 2025  
\$143.81

CODE: 4785



KEEP THIS RECEIPT TO ENTER  
THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/06/25 8:38AM AMANDAM 265 SALE

4201570 1 EA \$53.99 EA CN  
CARTRIDGE MOEN POST-TEMP \$53.99  
You Saved : 6.00

SUB-TOTAL:\$ 53.99 TAX: \$ .00  
TOTAL: \$ 53.99  
BC AMT: \$ 53.99

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 006349 AMT: \$ 53.99  
Host reference #:215245 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE:MASTERCARD EXPR: XXXX  
AID : A0000000041010  
TVR : 0000008001  
IAD : 0110A0400122000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM :  
Name : Mastercard  
ATC :0005  
AC : E6CB7CE76A634B65  
TxnID/ValCode: 147253

Bank card USD\$ 53.99

Total Items:1



==>> JRNL# C15245  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

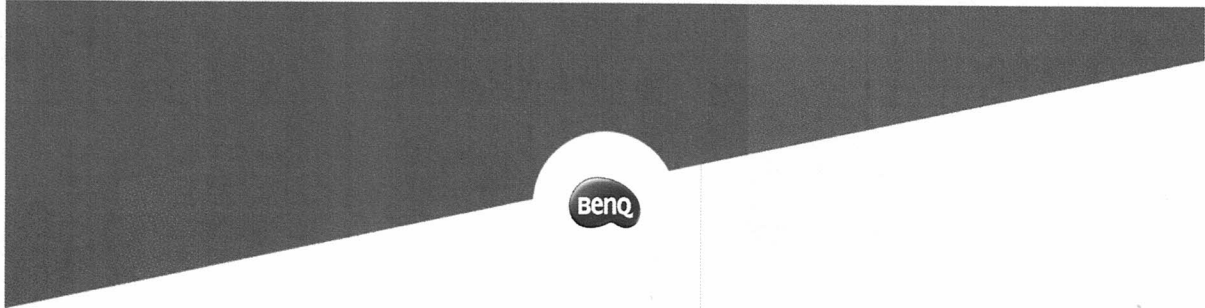
Customer Copy

YOU SAVED \$ 6.00 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS

## Seven Oaks Maintenance

**From:** BenQ America Corp. <receipts+acct\_1HleGqLae2r1AKVc@stripe.com>  
**Sent:** Tuesday, October 07, 2025 12:32 PM  
**To:** Seven Oaks Maintenance  
**Subject:** Your BenQ America Corp. receipt [#1679-6177]



### Receipt from BenQ America Corp.

Receipt #1679-6177

AMOUNT PAID	DATE PAID	PAYMENT METHOD
\$139.00	Oct 7, 2025, 9:31:05 AM	● - 0283

#### SUMMARY

(PROJECTOR DONGLE)

Order #BBU76000014206 by John Gentilella \$139.00

**Amount paid** \$139.00

If you have any questions, contact us at  
**BenQSupport.US@benq.com** or call us at +1 866-600-2367.

Something wrong with the email? View it in your browser.

CODE:  
4785



CODE: 4670

How doers  
get more done.

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00038 85738 10/08/25 12:24 PM  
SALE CASHIER KIMBERLY

090489439354 2X6-12 PT 2P <A>  
2X6-12FT #2PRIME PT GC WEATHERSHIELD 36.84N  
3@12.28

	SUBTOTAL	36.84
	SALES TAX	0.00
TAX EXEMPT	TOTAL	\$36.84
XXXXXXXXXXXX0283	MASTERCARD	USD\$ 36.84
		TA
AUTH CODE 008742/0380542		
Contactless		
AID A0000000041010	Mastercard	

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: SHOP

2025 PRO XTRA SPEND 10/07: \$848.65

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6311 10/08/25 12:24 PM



6311 38 85738 10/08/2025 6028

RETURN POLICY DEFINITIONS		
POLICY ID	DAYS	POLICY EXPIRES ON
A 1	90	01/06/2026



# Order Summary

Order placed October 9, 2025    Order # 114-7336252-7594658

### Ship to

John Gentilella  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764  
United States

### Order Summary

Item(s) Subtotal:	\$17.57
Shipping & Handling:	\$0.00
Total before tax:	\$17.57
Estimated tax to be collected:	\$0.00
<b>Grand Total:</b>	<b>\$17.57</b>

### Delivered October 10

Your package was delivered. It was handed directly to a resident.  
Signed by: John



Zip Ties, RAZCC 120 Pack 12 inch Black Cable Ties, Heavy Duty Plastic Wire Ties with 100 lb Tensile Strength, Black Nylon Zip Ties for Indoor and Outdoor

Sold by: RAZCC Direct

Return or replace items: Eligible through November 9, 2025

\$6.58



AccuSharp Knife Sharpener, Ergonomic Comfortable Handle, Compact & Easy to Use, Restore and Hone Straight & Serrated Knives, Blaze Orange

Sold by: AccuSharp

Return or replace items: Eligible through November 9, 2025



\$10.99

CODE:  
4785

# Order Summary

Order placed October 9, 2025    Order # 114-6943755-4024259

Ship to	Order Summary
John Gentilella 2910 SPORTS CORE CIR WESLEY CHAPEL, FL 33544-8764 United States	Item(s) Subtotal: \$20.98 Shipping & Handling: \$0.00 Your Coupon Savings: -\$0.65 Total before tax: \$20.33 Estimated tax to be collected: \$0.00 <b>Grand Total: \$20.33</b>

Delivered October 11
It was handed directly to a receptionist or someone at a front desk. Signed by: Teresa
<div></div> <div>Boxonly IBC Tank Adapter - Water Tote Tank Connector Hose Pipe - Inlet 60mm Coarse Thread - 3/4" Water Storage Outlet Caps Sold by: PELLUCID Return or replace items: Eligible through November 10, 2025 \$12.99</div>
<div></div> <div>BOETOADG 8PCS Faucet Aerator M16.5, Plug-In Faucet Aerator Faucet Restrictor Replacement Parts for Kitchen Bathroom Sink Aerator with 2 Key Removal Wrench Tool, 1.2GPM, 16.5mm/0.65inch Sold by: Hning-US Return or replace items: Eligible through November 10, 2025 \$7.99</div>

CODE:  
4785

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/10/25 9:26AM JEANNEC 265 SALE

4007545 1 EA \$15.29 EA CN  
FCT HNDL T/S MOEN CP \$15.29  
You Saved : 1.70

SUB-TOTAL:\$ 15.29 TAX: \$ .00  
TOTAL: \$ 15.29  
BC AMT: \$ 15.29

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 010516 AMT: \$ 15.29  
Host reference #:216502 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE:MASTERCARD EXPR: XXXX  
AID : A0000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC :0008  
AC : E405251AB5097A93  
TxnID/ValCode: 163935

CODE:  
4647

Bank card USD\$ 15.29

Total Items:1



==>> JRNL# C16502  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 1.70 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS



THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/13/25 8:33AM AMANDAM 265 SALE

40076 2 EA \$8.09 EA CN  
SHOWER HEAD VELVA-FLO CHRM/BL \$16.18  
You Saved : 1.80  
5073523 1 EA \$3.59 EA CN  
KEY MASTER M1-ACE250PK \$3.59  
You Saved : .40

SUB-TOTAL: \$ 19.77 TAX: \$ .00  
TOTAL: \$ 19.77  
BC AMT: \$ 19.77

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 013973 AMT: \$ 19.77  
Host reference #:217595 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE: MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC : 0009  
AC : A1C33C1931F2EC50  
TxnID/ValCode: 177888

CODE:  
4647

Bank card USD\$ 19.77

Total Items: 3



==>> JRNL# C17595  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.20 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/13/25 11:32AM AMANDAM 265 SALE

6215107 1 EA \$14.99 EA SN  
FLEX SEAL 14 OZ BLACK \$14.99  
You Saved : 2.00  
7402944 4 EA \$1.251EA CN  
PVC RISR 1/2MNPT X CLOSE \$5.00  
You Saved : .56

SUB-TOTAL: \$ 19.99 TAX: \$ .00

TOTAL: \$ 19.99

BC AMT: \$ 19.99

BK CARD#: XXXXXXXXXXXXX0283

MID:\*\*\*\*\*5880 TID:\*\*\*4733

AUTH: 013982 AMT: \$ 19.99

Host reference #:217677 Bat#

Authorizing Network: MASTERCARD

Contactless

CARD TYPE:MASTERCARD EXPR: XXXX

AID : A00000000041010

TVR : 0000008001

IAD : 0110A040012200000000000000000000

TSI :

ARC : 00

MODE : Issuer

CVM : No CVM

Name : Mastercard

ATC : 000A

AC : F236EF2EDBC88E79

TxnID/ValCode: 179099

Bank card USD\$ 19.99

Total Items:5



==>> JRNL# C17677

CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.56 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
10% OFF ON FEATURED ITEMS





Oct 16, 2025 6:30 AM CDT

Transaction 2434449364373724964 \$87.92 In-club

Wesley chapel Sam's Club - 27727 State Road 56, Wesley chapel, FL 33544, +1 (813) 929-7010

Item	Qty	Price (Incl Savings)
UNLEAD GASOLINE <u>Item ID: 658441</u>	1	\$87.92 \$87.92 each

Summary

Subtotal	\$87.92
Total Savings	\$0.00
Gift Options	\$0.00
Sales Tax	\$0.00

Payment

Total Charged to Card	\$87.92
-----------------------	---------

Method

Card ending in	\$87.92
----------------	---------

CODE:  
4660



How doers  
get more done.

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00001 12409 10/20/25 01:52 PM  
SALE CASHIER SARAH

090489197339 2X8-8 PT 2P <A>  
2X8-8FT #2PRIME PT GC 128.16N  
12@10.68  
071121963208 INSECT SPRAY <A>  
RK ANT & ROACH AERO 17.5 OZ  
4@3.77 15.08N

SUBTOTAL 143.24  
SALES TAX 0.00  
TAX EXEMPT  
TOTAL \$143.24  
XXXXXXXXXXXX0283 MASTERCARD  
USD\$ 143.24  
AUTH CODE 020201/8011191 TA  
Chip Read  
AID A0000000041010 Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: SHOP

2025 PRO XTRA SPEND 10/19: \$885.49

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6311 10/20/25 01:52 PM



6311 01 12409 10/20/2025 8386

RETURN POLICY DEFINITIONS

POLICY ID	DAYS	POLICY EXPIRES ON
A 1	90	01/18/2026



How doers  
get more done.

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00038 92916 10/23/25 08:33 AM  
SALE CASHIER KIMBERLY

090489197339 2X8-8 PT 2P <A>  
2X8-8FT #2PRIME PT GC

106.80N

10@10.68  
764661160601 60AWBLACK <A>  
60LB SAKRETE BLACKTOP PATCH  
3@23.97

71.91N

SUBTOTAL  
SALES TAX

178.71  
0.00

TAX EXEMPT

TOTAL

\$178.71

XXXXXXXXXXXX0283 MASTERCARD

USD\$ 178.71

AUTH CODE 023762/5380814

TA

Contactless

AID A0000000041010

Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: NA

2025 PRO XTRA SPEND 10/22: \$1,028.73

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6311 10/23/25 08:33 AM



6311 38 92916 10/23/2025 6452

RETURN POLICY DEFINITIONS  
POLICY ID DAYS POLICY EXPIRES ON  
A 1 90 01/21/2026

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/29/25 9:45AM VIRGINIA 265 SALE

1014296 1 EA \$2.51 EA CN  
CHISEL PNT BRSH ASST 3PK \$2.51  
You Saved : .28  
NUTS 1 EA .18 EA N  
NUTS/BOLTS/FASTENERS \$1.18  
NUTS 6 EA .20 EA N  
NUTS/BOLTS/FASTENERS \$1.20  
NUTS 6 EA \$2.19 EA N  
NUTS/BOLTS/FASTENERS \$13.14

SUB-TOTAL: \$ 17.03 TAX: \$ .00  
TOTAL: \$ 17.03  
BC AMT: \$ 17.03

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 029832 AMT: \$ 17.03  
Host reference #:222950 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE: MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC : 0000  
AC : F070FF4C38225985  
TxnID/ValCode: 252060

Bank card USD\$ 17.03

Total Items: 14

==>> JRNL# C22950  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ .28 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945



THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/29/25 2:54PM SALLYD 265 SALE

52375 3 EA \$7.191EA CN  
CONCRETE MIX QUIKRETE60# \$21.57  
You Saved : 2.40

SUB-TOTAL:\$ 21.57 TAX: \$ .00  
TOTAL: \$ 21.57  
BC AMT: \$ 21.57

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 029419 AMT: \$ 21.57  
Host reference #:223128 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE:MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A0400122000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC :000E  
AC : D99AB5ED03898B1D  
TxnID/ValCode: 254507

Bank card USD\$ 21.57

Total Items:3



==> JRNL# C23128  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.40 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS



## SEVEN OAKS CDD

Order # WH13337257

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PO/Job Name: WH13337257

### Ship To Home

**Ordered**

10/29/2025

**Shipped**

10/29/2025

CODE:  
4647

Item Description	Qty	Unit Price	Discount	Net Unit Price	Pre Tax Amount
12-Volt 7Ah F2 Replacement Battery for CyberPower CP850AVRLCD SKU 1010234974	1	\$19.99	\$0.00	\$19.99	\$19.99

Subtotal	\$19.99
Discount	\$0.00
Shipping	\$0.00
Delivery Charge	\$0.00
Sales Tax	\$0.00
<b>Order Total</b>	<b>\$19.99</b>

## ORDER DETAILS

10/29/2025

### Enroll

Order ID: BRM20251029269800718

Status: SUCCESSFUL PAYMENT

### Cart



#### Silver Unlimited

\$45.00

Unlimited talk, text & data

10 GB hotspot data per month

International calls to Canada & Mexico

### Order Summary

SubTotal \$45.00

Discount -\$1.00

Mandatory Taxes and Fees ▼ \$0.60

Other fees and Surcharges ▼ \$3.00

**ORDER TOTAL \$47.60**

### PAYMENT

#### PAYMENT METHOD

Credit Card



\*\*\*\*0283

CODE:  
4785

COPY OF RECEIPT SHOULD NOT BE USED

# ITEMS HISTORY NOT A RECEIPT

CLUB MANAGER JASON  
8139297010

WESLEY CHAPEL, FL  
10/30/25 08:26 9014 4852 88

Pump# 6 UNLEAD	
Gallons	30.862
Price/Gal	\$2.599
Fuel Sale	\$80.21

MASTERCARD CREDIT TEND	\$80.21
MASTERCARD **** * 0283	
Apprvl: 030265	

10/30/25 08:26

CODE: 4660



# Hungry Harrys BBQ- Land O Lakes

3116 Land O Lakes Blvd.  
Land O Lakes, FL 34639  
(813) 949-2025

Ticket #16884315  
10/30/2025 11:03:14 AM

User: DOREEN

Table: 3

SALE

MID 000074927799

CARD #\*\*\*\*0283

Entry method: CONTACTLESS

Amount: \$23.51

+ Tip:

= Total:

\$5.49

\$29.00

I agree to pay the above total amount  
according to the card issuer agreement

SIGN:

CODE: 4785

# SEVEN OAKS COMMUNITY DEVELOPMENT DISTRICT

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DISTRICT OFFICE · 3434 COLWELL AVENUE, SUITE 200 TAMPA, FLORIDA 33614

## **Operations and Maintenance Expenditures-General Fund November 2025 For Board Approval**

Attached please find the check register listing the Operation and Maintenance expenditures paid from November 1, 2025 through November 30, 2025. This does not include expenditures previously approved by the Board.

The total items being presented:     **\$106,411.07**

Approval of Expenditures:

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\_\_\_\_\_ Chairperson

\_\_\_\_\_ Vice Chairperson

\_\_\_\_\_ Assistant Secretary

## Seven Oaks Community Development District

### Paid Operation & Maintenance Expenditures

November 1, 2025 Through November 30, 2025

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Amazon Capital Services, Inc.	102010	1D39-6Q3X-XWYR	Supplies 10/25	\$ 2,233.16
Barco Products, LLC	102011	SORCO95708	Bench/trash can installation 10/25	\$ 12,371.49
Broadcast Music, Inc.	102018	61785697	Music License FY25-26	\$ 446.00
Charter Communications	102032	1.67115E+14	Clubhouse Cable - 167115201 11/25	\$ 279.48
Cintas Corporation	102012	4248336555	Facility Supplies 10/25	\$ 181.84
Cintas Corporation	102024	4249787300	Janitorial Supplies 11/25	\$ 186.44
Complete IT Corp	102025	18142	CPU maintenance 11/25	\$ 235.00
Complete IT Corp	102025	18277	Access Control 11/25	\$ 230.50
Cooper Pools Inc.	102026	2025-1341	Fountain Repair 11/25	\$ 555.00
Cooper Pools Inc.	102026	2025-1397	Fountain Maintenance 11/25	\$ 350.00
Cooper Pools Inc.	102026	2025-1420	Fountain Repair 11/25	\$ 434.35
Cooper Pools Remodeling & Resurfacing Inc	102013	2025-1335	Pool cleanup 10/25	\$ 250.00
Discovery Golf Cars	102019	98960	Golf Cart Repair 10/25	\$ 2,816.95

# Seven Oaks Community Development District

## Paid Operation & Maintenance Expenditures

November 1, 2025 Through November 30, 2025

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Ewing Irrigation Products Inc.	102014	28156098	Irrigation Supplies 10/25	\$ 912.72
Ewing Irrigation Products Inc.	102033	28179715	Irrigation Supplies 10/25	\$ 257.34
Ewing Irrigation Products Inc.	102033	28184959	Irrigation Supplies 10/25	\$ 79.26
Fast Signs of Wesley Chapel	102017	2160-9386	Pool Signs 10/25	\$ 1,614.00
Florida Department of Commerce	20251103-1	92728	DEO Special District Fee FY25-26	\$ 175.00
Foliage Design Systems	102027	14747	Facility Plant maintenance 11/25	\$ 134.00
Fountain Design Group, Inc.	102028	37662A	Quarterly Fountain Maintenance 11/25	\$ 200.00
Frontier Florida, LLC	20251105-1	813-994-3055-060923-5	813-994-3055-060923-5	
Johnson Controls Security Solutions	102029	10/25	10/25	\$ 124.99
			Security Services	
			12/01/25-02/28/26	\$ 712.73
			Residential Lights	
Lee Electric, Inc.	102020	250925	Troubleshoot - 10/25	\$ 295.00
Pasco County Utilities	20251113-1	Utilities Summary 10/25	Utilities Summary 10/25	\$ 3,603.62
Pasco Sheriff's Office	102015	I-202510-12112	Off Duty Patrol 10/25	\$ 1,280.00
			Clock Maintenance	
PH Bell and Clock Company	102016	2025014	10/25	\$ 397.50



## Seven Oaks Community Development District

### Paid Operation & Maintenance Expenditures

November 1, 2025 Through November 30, 2025

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Precision Sidewalk Safety Corp.	102034	b-2863	Sidewalk Project 10/25	\$ 31,959.00
Professional Green Cleaners, LLC	102030	30050	Restorative Floor Work 11/25	\$ 725.00
Rizzetta & Company, Inc.	102008	INV0000104548	District Management Services 11/25	\$ 7,636.25
Storage Center in Wesley Chapel	102021	28859	Storage Rental 11/25	\$ 272.00
TECO	102035	2.11004E+11	2.11004E+11	\$ 43.07
Valley National Bank	20251126-1	Valley CC 10/25	Special Events 10/25	\$ 3,243.04
Waste Connections of Florida	102036	2056410W426	Garbage Service 11/25	\$ 986.92
Withlacoochee River Electric Cooperative, Inc.	102009	10203732 Summary Bill 10.25	10203732 Summary Bill 10.25	<u>\$ 31,189.42</u>
<b>Total</b>				<u><b>\$ 106,411.07</b></u>



For customer support, visit [www.amazon.com/contact-us](http://www.amazon.com/contact-us).

## Invoice summary *Due 30 days from receipt of invoice*

Item subtotal before tax	\$ 2,429.79
Shipping & handling	\$ 5.98
Promos & discounts	(\$ 7.95)
Total before tax	\$ 2,427.82
Tax	\$ 0.00
<b>Amount due</b>	<b>\$ 2,427.82 USD</b>

## Pay by

### Electronic funds transfer (EFT/ACH/Wire)

**Account name** Amazon Capital Services, Inc.  
**Bank name** Wells Fargo Bank  
**Bank routing # (ABA)** 121000248  
**Bank account # (DDA)** 41630410006031218  
**SWIFT code (wire transfer)** WFBUS6S

### Check

Amazon Capital Services  
PO Box 035184  
Seattle, WA 98124-5184

Include Amazon invoice number(s) in the descriptive field of your electronic funds transfer payment, or

Email [ar-businessinvoicing@amazon.com](mailto:ar-businessinvoicing@amazon.com) to submit your remittance detail.

**Billing period** 10/1/25 to 10/31/25

**Account #** A1X2JE9D1GIM05

**Payment terms** Net 30

### Registered business name

Seven Oaks CDD

### Bill to

Seven Oaks CDD  
3434 Colwell Ave  
#200  
Tampa, FL 33614

### Group Name

Seven Oaks CDD

## Invoice details

#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
1	9/30/25	Vigoog Heavy Duty Exercise Handles, Ultra-Durable Rubber Workout Grip Attachments for Cable Machines, LAT Pulldown, Resistance Bands, Home Gym and Commercial Fitness Equipment <small>Sold by: zhizhujiao ASIN: B0FCMRQJJN Order # 114-8244824-7516261 Order date: September 30, 2025</small>	1	\$19.99	\$19.99	0.000%
2	10/2/25	Oktoberfest Fabric Bunting, Oktoberfest Bunting with Oktoberfest Bavarian Pennant Banner for Oktoberfest Party, German Bavarian Beer Festival Decoration Supplies <small>Sold by: he fei ze you pin ke ji you xian gong si ASIN: B0B1PKMN31 Order # 113-3644528-7533029 Order date: October 02, 2025</small>	1	\$16.99	\$16.99	0.000%

#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
Event 3	10/2/25	Blulu Oktoberfest Decorations Oktoberfest Banner Sign October Festival Party Decorations Bavarian Check Flag Porch Welcome Banner Flags Decor for German Parade Beer Festival Party Supplie Sold by: DONGGUANSHI KAIZE NETWORK TECHNOLOGY Co., Ltd. ASIN: B07WFZYVGS Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$11.59	\$11.59	0.000%
Event 4	10/2/25	Oktoberfest Party Supplies, 5lb Oktoberfest Paper Food Trays, Disposable Serving Plates, Beer Festival Snack Nacho Trays for Oktoberfest, BBQ, Carnival, German Theme Party Decor (50) Sold by: foshanshichunlaiyuxianmaoyiyouxiangongsi ASIN: B0FF4T9MPT Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$13.99	\$13.99	0.000%
Event 5	10/2/25	Linen Oktoberfest Table Runner 72 Inches Long Oktoberfest Tablecloth German Bavarian Oktoberfest Beer Party Decorations and Supplie for Home Sold by: henanjiudundianzikejiyouxiangongsi ASIN: B0D6XKH6T7 Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$7.98	\$7.98	0.000%
Event 6	10/2/25	Reallnaive 50 Set Oktoberfest Party Supplies Blue and White Disposable Plastic Cutlery Set with Pre Rolled Oktoberfest Napkin Knives Forks Spoons and Rings Beer Festival Supplies Sold by: shenzhenshiruindianzishangwuyouxiangongsi ASIN: B0FBWV5G8Z Order # 113-3644528-7533029 Order date: October 02, 2025	2	\$32.99	\$65.98	0.000%
Event 7	10/2/25	Aodaer 200 Pieces Oktoberfest Wooden Cocktail Picks Appetizer Fruits Bamboo Toothpicks Decorative Cocktail Sticks with Bavarian Flag for Fruits Dessert Appetizer Party Supplies Sold by: shuchengruidisidianzishangwuyouxiangongsi ASIN: B0D6G4CWKC Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$15.99	\$15.99	0.000%
Event 8	10/2/25	BeYumi 123Pcs Fall Scarecrow Head Craft Kit DIY Scarecrow Craft Autumn Thanksgiving Art Craft Make Your Own Scarecrow Head Set Home Classroom Game Activities Art Supplies Decor for Kindergarten Kids Sold by: Zhao qing shi xiang feng li ji xie shi ye you xian gong si ASIN: B0C5HDCVJ8 Order # 111-3070706-7725817 Order date: October 02, 2025	1	\$12.34	\$12.34	0.000%
Event 9	10/5/25	Hillban 2 Pcs Oktoberfest Aprons Women Mens German Apron Oktoberfest Costume for Couples Cooking BBQ Party Favor Gifts(Fresh Style) Sold by: Hefei Geming Xinxikeji Youxiangongsi ASIN: B0BFX1CD7P Order # 113-3644528-7533029 Order date: October 02, 2025	2	\$17.99	\$35.98	0.000%
Event 10	10/5/25	MEHOFOND Oktoberfest Decorations Oktoberfest Banner German Bavarian Beer Backdrop Party Decor White Blue Photo Background for Beer Festival Celebration Party Supplies 6x4 ft Sold by: Suzhouchuangmeizhonglianshumakejiyouxiangongsi ASIN: B0F8Q1XQ3W Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$5.99	\$5.99	0.000%
Event 11	10/5/25	4 Pcs Oktoberfest Party Decorations Oktoberfest Photo Prop Large Face Yard Sign with Stakes Waterproof Bavarian Beer Festival for German Outside Lawn Garden Decor Photography Sold by: hefeidacangdianzishangwuyouxiangongsi ASIN: B0D73HQB5L Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$37.99	\$37.99	0.000%
Event 12	10/5/25	Linen Oktoberfest Table Runner 72 Inches Long Oktoberfest Tablecloth German Bavarian Oktoberfest Beer Party Decorations and Supplie for Home Sold by: henanjiudundianzikejiyouxiangongsi ASIN: B0D6XKH6T7 Order # 113-3644528-7533029 Order date: October 02, 2025	1	\$7.98	\$7.98	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
13	10/7/25	Brother Printer TN431M Standard Yield Toner-Retail Packaging , Magenta Sold by: Amazon.com Services, Inc ASIN: B06XCD5LRB Order # 111-8155741-8467444 Order date: October 07, 2025	1	\$80.99	\$80.99	0.000%
14	10/7/25	Brother Printer TN431Y Standard Yield Toner-Retail Packaging , Yellow Sold by: Amazon.com Services, Inc ASIN: B06XCL5SJJ Order # 111-8155741-8467444 Order date: October 07, 2025	1	\$80.99	\$80.99	0.000%
15	10/8/25	Sterno Fuel Cans - 6-Hour Burn, (12-Pack) Chafing Dish Fuel Can Burners for Food Warmer, Resealable Twist Chafer Fuel Canned Heat, Handy Wick Sold by: Accessory Export LLC ASIN: B0D2JM6B1Y Order # 111-8911877-6210614 Order date: October 07, 2025	1	\$29.98	\$29.98	0.000%
16	10/12/25	Shappy Floating Rope Life Ring Rope Lifesaving Dock Lines Boat Braided Polypropylene Outdoor Throwing Lines for Life Preserver Ring Anchor Heaving Line with Spring Hook(15 m/ 16.4 Yards,White) Sold by: Hefei Rongtang Wangluokeji Youxiangongsi ASIN: B08THP24DB Order # 113-9218878-4282628 Order date: October 11, 2025	4	\$17.99	\$71.96	0.000%
17	10/13/25	TAYLOR TECHNOLOGIES INC R-0001-C REAGENT #1 DPD 2 OZ Sold by: MNH INC ASIN: B0002Z0MQU Order # 113-1176859-1096258 Order date: October 11, 2025	1	\$12.37	\$12.37	0.000%
18	10/13/25	Jim-Buoy GW-24 U.S.C.G. Approved G-Series Life Ring - 24", White Sold by: DIRECT BRANDS HOLDINGS LLC- SERIES ASIN: B001PGWZCE Order # 113-8394214-1173840 Order date: October 11, 2025	4	\$114.58	\$458.32	0.000%
19	10/13/25	HOMCOM 7.5' Tall Lighted Halloween Inflatables Outdoor Decorations Haunted Tree with Owl, Ghost, Pumpkins, Blow Up LED Yard Decor for Garden, Lawn, Party, Holiday, Waterproof Sold by: Aosom LLC ASIN: B07HCHQBRP Order # 113-4171028-8026624 Order date: October 13, 2025	1	\$39.19	\$39.19	0.000%
20	10/13/25	COSIMIXO 5-Pack Red Heavy Duty Duct Tape, 2 inches x 30 Yards, Strong, Flexible, No Residue, All-Weather and Tear by Hand - Bulk Value for Repairs, Industrial, Professional Use Sold by: dongguanshichuangshijiaonanyouxiangongsi ASIN: B0BK16TQ5Q Order # 113-3498297-6656221 Order date: October 13, 2025	1	\$22.65	\$22.65	0.000%
21	10/13/25	1400 sqft Halloween Spider Webs Decorations with 150 Extra Fake Spiders, Super Stretchy Cobwebs for Halloween Decor Indoor and Outdoor Sold by: shen zhen a da mao yi you xiao gong si ASIN: B07YCSNLDG Order # 113-3228256-8589841 Order date: October 13, 2025	1	\$16.99	\$16.99	0.000%
22	10/14/25	4.6FT Halloween Inflatable Pumpkin Outdoor Decorations Blow-up Pink Pumpkin Build-in 4 LED Lights for Halloween Party Decor Giant Inflatable Fake Pumpkins for Fall Thanksgiving Yard Garden Lawn Sold by: eYourlife LLC ASIN: B0FF9R3GL6 Order # 113-7959008-6982635 Order date: October 13, 2025	1	\$52.24	\$52.24	0.000%
23	10/14/25	BN-LINK 24 Hour Heavy Duty Mechanical Timer, Outdoor Timer Outlet Waterproof with 15 Minutes Intervals, 2 Grounded Outlets for Christmas Lights Pool Pump,15A 1/2HP, ETL Listed Sold by: BNLINK INC ASIN: B079N9FW5B Order # 113-7959008-6982635 Order date: October 13, 2025	3	\$13.16	\$39.48	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
Event 24	10/14/25	8FT Halloween Inflatables Spider Outdoor Decorations for Yard, Giant Blow up Green Spider with Rotating Fire Flame Light, Large Spooky Spider Props for Halloween Party Garden Lawn House Holiday Decor Sold by: Zhongshan Mohua Trading Co., Ltd. ASIN: B09XDSP6DJ Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$59.98	\$59.98	0.000%
Event 25	10/14/25	ZTHMOE Fabric 10x8ft Halloween Candy Shop Photography Backdrop Magic Witch Background Pumpkin Lantern Night Party Decorations Maple Leaves Photo Booth Banner Sold by: Nantong Huamo E-commerce Co., Ltd. ASIN: B0DHX4NVM8 Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$43.99	\$43.99	0.000%
CH misc 26	10/14/25	zukaii 5FT Halloween Inflatables Ghost, Cute Halloween Decorations Outdoor Blow Up Yard Decorations with Built-in Bright LED Lights Pumpkin Lollipop Bow Blow-ups for Indoor Outdoor Holiday Party Sold by: Shenzhenshiqinfengkejijouxiangongsi ASIN: B0FFT7NVCS Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$34.99	\$34.99	0.000%
CH misc 27	10/14/25	5FT Cute Halloween Inflatables Ghost, Blow Up Wizard Ghost with Pumpkin Black Cat for Garden Lawn Indoor Party Decor, Halloween Decorations Outdoor Inflatables Sold by: shenzhenshiqinfengkejijouxiangongsi ASIN: B0FF46ZDZ3 Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$42.99	\$42.99	0.000%
Event 28	10/14/25	11FT Giant Halloween Inflatable, Giant Halloween Inflatables Archway, Outdoor Blow Up Decorations, Inflatable Pumpkin Arch for Yard Lawn Garden Party Sold by: shenzhenliyuantaomaoyijouxiangongsi ASIN: B0FJD9RC3N Order # 113-0733317-3838669 Order date: October 13, 2025	1	\$89.99	\$89.99	0.000%
CH misc 29	10/14/25	GOOSH 5 FT Halloween Inflatables Ghost Outdoor Decorations Blow Up Yard Cute Wizard Ghost with Hand-Held Light with Built-in LEDs for Garden Lawn Indoor Party Decor Sold by: GME LLC ASIN: B07WXGLDGV Order # 113-4562806-9117018 Order date: October 13, 2025	1	\$37.99	\$37.99	0.000%
Cleaning 30	10/14/25	Simple Green 13005CT Industrial Cleaner and Degreaser, Concentrated, 127.8 Fl Oz, Pack of 1, White Sold by: Amazon.com Services, Inc ASIN: B0000AXNO5 Order # 113-5278568-7774608 Order date: October 13, 2025	1	\$10.98	\$10.98	0.000%
Cleaning 31	10/14/25	Veco Spray Bottle (5 Pack, 16 Oz) with Measurements and Adjustable Nozzle (Mist & Stream Mode), HDPE Plastic Spray Bottles for Cleaning Solution, Household/Commercial/Industrial Use, No Leak and Clog Sold by: ShenZhenShiTuoYuanFengKeJiYouXianGongSi ASIN: B08G4R1BJF Order # 113-5278568-7774608 Order date: October 13, 2025	1	\$16.99	\$16.99	0.000%
car equipment 32	10/15/25	Perfect Fry 83543 2 Stage Filter Sold by: Amazon.com Services, Inc ASIN: B09JB8VWVR Order # 113-1791684-4432233 Order date: October 15, 2025	1	\$183.64	\$183.64	0.000%
CH misc 33	10/15/25	Shark HP232 Clean Sense Air Purifier MAX with Odor Neutralizer Technology, Allergies, HEPA Filter, 1200 Sq Ft, XL Room, Whole Home, Captures 99.98% of Particles, Allergens, Smells & More, Grey Sold by: Amazon.com Services, Inc ASIN: B0C7SM1XW3 Order # 113-4502595-3031455 Order date: October 15, 2025	1	\$218.49	\$218.49	0.000%



#	Ship date	Description	Qty	Unit price	Item subtotal before tax	Tax
34	10/18/25	Dermoplast Pain, Burn & Itch Relief Spray for Minor Cuts, Burns and Bug Bites, 2.75 Oz (Packaging May Vary) Sold by: Amazon.com Services, Inc ASIN: B073PBPC51 Order # 111-3901737-8680209 Order date: October 17, 2025	2	\$7.74	\$15.48	0.000%
35	10/22/25	Acryliwax 25 High Solids & High Gloss Commercial Floor Wax & Finish - Case of 4 Gallons... Sold by: Jani-Source Inc. ASIN: B00JLEUAVK Order # 113-4720906-2693811 Order date: October 21, 2025	1	\$119.95	\$119.95	0.000%
36	10/26/25	Charcoal Water Filter for Cuisinart SS-10, SS-15, SS-700, DCC-1200, DCC-3200, DCC-3000(P1) Coffee Makers Filter Replacement (12Pack). Sold by: foshanshi shundequ linyoujiaju youxiangongsi ASIN: B0CK2NJTPK Order # 113-0913103-2387456 Order date: October 26, 2025	1	\$12.99	\$12.99	0.000%
37	10/28/25	8 Pack White Round Spandex Tablecloth for 60 inch Table, Wrinkle Free Stretchy 120inch Fitted 5FT Round Table Cloths Cover with Skirt for Wedding Birthday Party Dining Banquet Thanksgiving Events Sold by: Pan'an Xian Ji Wei Dian Zi Shang Wu You Xian GongSi ASIN: B0CC25H8GD Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$118.99	\$118.99	0.000%
38	10/28/25	Outpain White Spandex Table Clothes for 8 Foot Rectangle Tables-6Pack 8FT Spandex Fitted Table Cover, Wrinkle Free Tablecloths with Skirt for Parties, Wedding, Birthday, Banquet, Festival Sold by: Pan An Xian Hui Cai Mao Yi You Xian Gong Si ASIN: B0BZHKJYPK Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$101.99	\$101.99	0.000%
39	10/28/25	Aneco 12 Pack Satin Table Runner 12 x 108 Inch Fall Autumn Long Wedding Satin Silk Table Runner for Thanksgiving Halloween Party Decoration Wedding Banquet Graduations Birthday Sold by: Yishanmen Network Technology Shanghai Co., Ltd. ASIN: B0DBGYXJKN Order # 113-6601648-3143415 Order date: October 27, 2025	1	\$21.99	\$21.99	0.000%
40	10/28/25	COMIN 5.4 FT Thanksgiving Decorations Inflatables Outdoor Big Eye Turkey Blow Up Inflatable with Built-in LEDs for Holiday Yard Lawn Garden Decor Sold by: COMIN INC. ASIN: B0D8J8M6XB Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$30.99	\$30.99	0.000%
41	10/28/25	8FT Thanksgiving Inflatables Outdoor Decoration Inflatable Turkey Squirrel Pumpkin, Built in LED Lights Blow Up Yard Decorations for Fall Holiday Party Garden Lawn Décor Sold by: 91440106093718790L ASIN: B0D1VC5NKK Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$53.99	\$53.99	0.000%
42	10/28/25	TURNMEON 4 Ft Thanksgiving Inflatable Decorations Outdoor, Blow up Turkey Holds Happy Thanksgiving Banner LED Lights for Yard Lawn Garden Fall Autumn Decoration Home Decor Outside Indoor Sold by: GBD INC ASIN: B0B4S2Z1GD Order # 113-5262062-7997050 Order date: October 28, 2025	1	\$29.99	\$29.99	0.000%
43	10/29/25	PENGYEE 6 Pack 5.57ft Artificial Christmas Garlands, Xmas Holly Leaves and Red Berries, Artificial Greenery Garlands for Christmas Decorations Fireplace Winter Newyear Decor Sold by: Huanghua Qidi Trading Company ASIN: B0D9MJMZZG Order # 113-3956171-4017845 Order date: October 29, 2025	1	\$25.45	\$25.45	0.000%
44		Shipping & handling			\$5.98	0.000%
45		Promotions & discounts			(\$7.95)	0.000%

Total before tax	\$2,427.82
Tax	\$0.00

<b>Amount due</b>	<b>\$2,427.82</b>
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## FAQs

## How is tax calculated?

Visit <https://www.amazon.com/gp/help/customer/display.html?nodeId=G202036190>

## How are digital products and services taxed?

Visit <https://www.amazon.com/gp/help/customer/display.html?nodeId=T18ikShu13no6ZK3jZ>

## When will I get a refund for undelivered items?

You can expect to get your refund within 7 calendar days after we receive confirmation that your package was undeliverable (exclusions apply).

Fitness	\$ 19.99	57200-4914
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Events	\$ 781.34	57400-4775
--------	-----------	------------

Office Supplies	\$ 161.98	57200-5101
-----------------	-----------	------------

Facility Clubhouse Supplies	\$ 77.61	57200-4619
-----------------------------	----------	------------

Pool Supplies	\$ 542.65	57200-4717
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Clubhouse misc	\$ 501.67	57200-4785
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Cleaning Supplies	\$ 147.92	57200-4704
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Cable Equipment	\$ 183.64	57200-6442
-----------------	-----------	------------

Cable Supplies	\$ 11.02	57200-3222
----------------	----------	------------





Barco Products, LLC  
24 N Washington Ave  
Batavia IL 60510  
(800) 338-2697  
[customerservice@barcoproducts.com](mailto:customerservice@barcoproducts.com)

# Invoice

Account Number - 400678

Invoice # SORCO95708

10/28/2025

**Bill To**  
Seven Oaks CDD  
3434 Colwell Ave  
Suite 200  
Tampa FL 33614

**Ship To**  
John Gentilella  
Seven Oaks CDD  
2910 Sports Core Cir  
Wesley Chapel FL 33544

Payment Method	Terms	PO #
	Check - Prepayment	

Item	Qty	Rate	Amount
<b>KBC1305W-TK</b> Silhouette Bench Wood Grain Naturals/ 6' Bench/ Inground Mount/Teak	10	\$925.00	\$9,250.00
<b>08SA2604-BK</b> Supersaver™ Receptacle/ 32 Gallon/ Black/ with Black Dome Lid & Liner	5	\$399.00	\$1,995.00
<b>LIFTGATE</b> Liftgate Fees	1	\$90.00	\$90.00
<b>CL1420LN1</b> Replacement Liner	2	\$81.00	\$162.00
<b>Subtotal</b>			\$11,497.00
<b>Tax Total (%)</b>			\$0.00
<b>Shipping</b>			\$874.49
<b>Total</b>			\$12,371.49

**APPROVED**

John G. 10/28/25  
Code: 4670





10 Music Square East  
Nashville, TN 37203-4399

Theresa DiMaggio  
Seven Oaks Community Dev. District  
3434 Colwell Ave Ste #200  
Tampa FL 33614

Invoice & Remittance Advice	
Account Number:	2895669
Billing Number:	61785697
Billing Date:	02-NOV-2025
Total Amount Due:	USD 446.00
Amount Enclosed:	

Pay online at [www.bmi.com/paynow](http://www.bmi.com/paynow) using the account number and billing number above

Mail payment to:  
BMI  
PO Box 630893  
Cincinnati OH 45263-0893

Contact us: (800) 925-8451  
[customerrelations@bmi.com](mailto:customerrelations@bmi.com)

02895669617856970000004460012

Please return the above portion with your payment

**PLEASE NOTE: CORRESPONDENCE WRITTEN ON THIS NOTICE OR SENT TO THE PO BOX ADDRESS WILL NOT BE RECOGNIZED BY BMI**

Billing Number	Beginning Balance	Billed and Adjusted	Payments	Ending Balance
61785697	\$0.00	\$446.00	\$0.00	\$446.00

Date	Type	Transaction #	Description	Amount (in USD)
Account# 2895669				
Seven Oaks Community Dev. District				
7 Oaks Community Club House 2910 Sports Core Circle Wesley Chapel FL 33544				
01-NOV-2025	INV	12473635	Estimated Fee 11/01/2025 - 10/31/2026	\$446.00

Your annual fee is \$ 446.00

If you are billed quarterly or semi-annually and your payment is 90 days past due, the unpaid balance of your Annual Fee is now due in full.

Visit [www.bmi.com/licensingcommunity](http://www.bmi.com/licensingcommunity) to manage your account, update your billing frequency or download this invoice.

Your annual fee reflects the CPI-adjusted rate according to the terms of your BMI music license.

Did you know BMI customers can save up to 80% on FedEx® services? Log into your account at [bmi.com/licensingcommunity](http://bmi.com/licensingcommunity) for more details!

Theresa Dimaggio

57200-4785

music license

#### Profile Details

Profile Details		Invoice: 12473635	
Music Profile Information for: 11/01/2025 - 10/31/2026			
BMI is currently billing you an estimated amount based on the most recent criteria provided as follows:			
7 Oaks Community Club House 2910 Sports Core Circle Wesley Chapel, FL 33544	Profile Details	Fee Estimate	Annual Fee
Base License Fee			446.00
Population	3500		

SEVEN OAKS CDD  
2910 SPORTS CORE CIR  
ZEPHYRHILLS, FL 33544-8764

Invoice Number: 167115201110725  
Account Number: 167115201  
Invoice Date: 11/07/25  
Due Date: 12/07/25  
Security Code:

## Summary

Account activity from 11/10/2025 through  
12/09/2025 details on following pages

Previous Statement Balance	\$279.48
Payments	\$-279.48
10/17/2025	\$-279.48
<b>Previous Statement Balance Subtotal</b>	<b>\$0.00</b>
Adjustments	\$0.00
Prorated Charges	\$0.00
Recurring Charges	\$263.00
One Time Charges	\$0.00
Taxes, Fees & Surcharges	\$16.48
<b>Current Charges Subtotal</b>	<b>\$279.48</b>
<b>BALANCE DUE</b>	<b>\$279.48</b>

## Payment Options

### Pay Online

Make payments, download statements, view payment history, and sign up for billing email notifications at [Spectrumenterprise.net](http://Spectrumenterprise.net).

### Checks

Charter Communications  
Box 223085  
Pittsburgh PA 15251-2085

### ACH/Wire Transfers

Bank Name: Mellon Bank  
ABA Routing Number: 043000261  
Account Name: Charter Communications  
Account Number: 0001215564  
Email remit information to:  
DL-CASHMGMT-FL@CHARTER.COM

**Avoid processing delays by including your account number with your check, ACH or wire transfer.**

### Alternate Payment Options

Learn more about alternate one-time or recurring payment options at [enterprise.spectrum.com/payments](http://enterprise.spectrum.com/payments).

For support or billing questions, call 888-812-2591.

Thank you for choosing Spectrum Business for enterprise. We value you as our customer and appreciate your prompt payment.

**Note:** Payments made after 10/28/2025 may not be reflected in the Payments section of this statement. They will appear on the following month's statement.

Please detach and enclose this coupon with your payment.



1900 BLUE CREST LN  
SAN ANTONIO, TX 78247

6810 0225 NO RP 07 11072025 NNNNNNNY 01 006794 0016

SEVEN OAKS CDD  
3434 COLWELL AVE STE 200  
TAMPA FL 33614-8390



**ACCOUNT NUMBER 167115201**

DUE DATE	12/07/25
PREVIOUS BALANCE SUBTOTAL	\$0.00
CURRENT CHARGES SUBTOTAL	\$279.48
<b>BALANCE DUE</b>	<b>\$279.48</b>

AMOUNT PAID

\$

CHARTER COMMUNICATIONS  
BOX 223085  
PITTSBURGH, PA 15251-2085



0701500100116711520189000027948

Page 2 of 2  
Invoice Number: 167115201110725  
Account Number: 167115201  
Invoice Date: 11/07/25  
Due Date: 12/07/25  
Security Code:



Contact Us at  
1-888-812-2591

6810 0225 NO RP 07 11072025 NNNNNNNY 01 006794 0016

## Charge Details

Previous Statement Balance	\$279.48
Payments	\$-279.48
10/17/2025	\$-279.48
<b>Previous Statement Balance Subtotal</b>	<b>\$0.00</b>
Adjustments	\$0.00
Prorated Charges	\$0.00
Recurring Charges	\$263.00
Enterprise Hosted Voice Premium Feature	\$140.00
Pack 4 @ \$35.00	
Spectrum Business Voice 2 @ \$50.00	\$100.00
Hosted Voice Polycom VVX 301 - Rental 4 @ \$5.00	\$20.00
Enterprise Hosted Voice Additional Voice Mail	\$3.00
First Directory Listing	\$0.00
One Time Charges	\$0.00
Taxes, Fees & Surcharges	\$16.48
Regulatory Cost Recovery Fee	\$3.58
Federal Universal Service Fund	\$10.90
Federal Excise Tax	\$0.08
E911 Surcharge	\$1.60
Telephone Relay Surcharge	\$0.32
<b>Current Charges Subtotal</b>	<b>\$279.48</b>
<b>BALANCE DUE</b>	<b>\$279.48</b>

## Billing Information

**Late Fee:** You may be assessed a late fee for any amounts which are not paid when due. The late fee shall be the lesser of one and one-half percent (1.5%) per month or the highest rate chargeable by law.

### Taxes and Fees:

This statement reflects the current taxes and fees for your area (including sales, excise, user taxes, etc.). These taxes and fees may change without notice. Visit [spectrum.net/taxesandfees](https://spectrum.net/taxesandfees) for more information.

Effective October 1, 2025 the Federal Universal Service Fund increased to 38.1%.

**The following taxes, fees and surcharges are included in the price of the Spectrum Voice services:** Federal USF \$6.24, Florida State CST \$4.37, Florida CST \$2.24, Florida Local CST \$2.17, E911 Fee \$0.80, TRS Surcharge \$0.16, Sales Tax \$0.09

**Spectrum Voice Provider** - Charter Communications Operating, LLC's service subsidiaries







REMIT PAYMENT TO: PAY YOUR BILL WITH MYCINTAS  
CINTAS CORP  
P.O. BOX 630910  
CINCINNATI, OH 45263-0910  
WWW.CINTAS.COM/MYACCOUNT  
MANAGE | SHOP | PAY

CUSTOMER SVC/BILLING 833-290-0514  
CINTAS FAX # 813-626-8852  
PAYMENT INQUIRY 813-644-8365

# INVOICE

SHIP TO: SEVEN OAKS COMMUNITY  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764

INVOICE # 4248336555  
INVOICE DATE 10/30/2025  
CUSTOMER REF # DEVELOPMENT DISTRICT

BILL TO: SEVEN OAKS CDD  
3434 COLWELL AVE STE 200  
TAMPA, FL 33614-8390

SOLD TO # 13471172  
PAYER # 13496923  
PAYMENT TERMS NET 10 EDM  
SORT # 00740070271  
CINTAS ROUTE 79 / DAY 4 / STOP 010

EMP#/LOCK#	MATERIAL	DESCRIPTION	FREQ	EXCH	QTY	UNIT PRICE	LINE TOTAL	TAX
	X2700	TERRY TOWEL - WHITE-	02	F	360	0.220	79.20	N
	X2700	TERRY TOWEL - WHITE-	L 02	F	29	1.300	37.70	N
	X84301	3X5 LOGO MAT D0740 3X5 7 OAKS 'A'	02	F	1	7.000	7.00	N
	X84301	3X5 LOGO MAT D0741 3X5 7 OAKS 'A'	02	F	1	7.000	7.00	N
	X84301	3X5 LOGO MAT D0742 3X5 7 OAKS 'A'	02	F	1	7.000	7.00	N
	X84301	3X5 LOGO MAT D0743 3X5 7 OAKS 'B'	02	F	1	7.000	7.00	N
	X84301	3X5 LOGO MAT D0744 3X5 7 OAKS 'B'	02	F	1	7.000	7.00	N
	X84301	3X5 LOGO MAT D0745 3X5 7 OAKS 'B'	02	F	1	7.000	7.00	N
	X84401	4X6 LOGO MAT D0746 4X6 7 OAKS	02	F	1	10.000	10.00	N
SUBTOTAL							168.90	
SERVICE CHARGE							12.94	N
SUBTOTAL							181.84	
TAX							(0.00)	
TOTAL USD							181.84	

*Theresa D. Maguire*

TOTAL ADJUST.

\_\_\_\_\_

TAX ADJUST.

\_\_\_\_\_

NET TOTAL

\_\_\_\_\_

CUSTOMER TOTAL CURRENT: 551.84 PAST DUE: 0.00 30 DAYS: 30.00 60 DAYS: 0.00 90+ DAYS: 0.00

FOR ALL NON-PAYMENT RELATED CORRESPONDENCE : CINTAS CORPORATION #0074 / 7101 PARK EAST BLVD. / TAMPA, FL 33610

INVOICE

SHIP TO: SEVEN OAKS COMMUNITY  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764

INVOICE # 4249787300  
INVOICE DATE 11/13/2025  
CUSTOMER REF # DEVELOPMENT DISTRICT  
  
SOLD TO # 13471172  
PAYER # 13496923  
PAYMENT TERMS NET 10 EOM  
SORT # 00740070271  
CINTAS ROUTE 79 / DAY 4 / STOP 010

BILL TO: SEVEN OAKS CDD  
3434 COLWELL AVE STE 200  
TAMPA, FL 33614-8390

EMP#/LOCK#	MATERIAL	DESCRIPTION	FREQ	EXCH	QTY	UNIT PRICE	LINE TOTAL TAX
	X2700	TERRY TOWEL - WHITE-	02	F	375	0.220	82.50 N
	X2700	TERRY TOWEL - WHITE-	L 02	F	30	1.300	39.00 N
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0740 3X5 7 OAKS 'A'					
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0741 3X5 7 OAKS 'A'					
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0742 3X5 7 OAKS 'A'					
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0743 3X5 7 OAKS 'B'					
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0744 3X5 7 OAKS 'B'					
	X84301	3X5 LOGO MAT	02	F	1	7.000	7.00 N
		D0745 3X5 7 OAKS 'B'					
	X84401	4X6 LOGO MAT	02	F	1	10.000	10.00 N
		D0746 4X6 7 OAKS					
SUBTOTAL							173.50
SERVICE CHARGE							12.94 N
SUBTOTAL							186.44
TAX							(0.00)
TOTAL USD							186.44

*These Images*  
**57200-4704**

TOTAL ADJUST.

TAX ADJUST.

NET TOTAL

CUSTOMER TOTAL CURRENT: 181.84 PAST DUE: 0.00 30 DAYS: 0.00 60 DAYS: 30.00 90+ DAYS: 0.00

FOR ALL NON-PAYMENT RELATED CORRESPONDENCE : CINTAS CORPORATION #0074 / 7101 PARK EAST BLVD. / TAMPA, FL 33610

2664 Cypress Ridge Blvd | Suite 103  
Wesley Chapel, FLORIDA 33544  
<https://completeit.io>  
(813) 444-4355



Seven Oaks CDD  
3434 Colwell Ave #200  
Tampa, FL 33614

Invoice #	18142
Invoice Date	11-01-25
Balance Due	<b>\$235.00</b>

Item	Description	Unit Cost	Quantity	Line Total
MSP REMOTE Contract	- Covers up to 5 computers, every computer thereafter is \$45 each. 1 Year Contract at date of installation (30 day cancelation after 1 year).	\$225.00	1.0	\$225.00
Cloud Backup	- Per 1 TB	\$10.00	1.0	\$10.00



Subtotal	\$235.00
Tax	\$0.00
Invoice Total	\$235.00
Payments	\$0.00
Credits	\$0.00
<b>Balance Due</b>	<b>\$235.00</b>



Theresa Dimaggio

57200-4785

CPD maintenance



2664 Cypress Ridge Blvd | Suite 103  
Wesley Chapel, FLORIDA 33544  
<https://completeit.io>  
(813) 444-4355



Seven Oaks CDD  
3434 Colwell Ave #200  
Tampa, FL 33614

Invoice #	18277
Invoice Date	11-11-25
Balance Due	<b>\$230.50</b>

Item	Description	Unit Cost	Quantity	Line Total
Brivo Onair Tier 2 Reader Monthly Data Plan (3-12 readers)	- Brivo Onair Tier 2 Reader Monthly Data Plan (For each reader from 3-12 on the account) Applies to ACS6000, ACS300 and Mercury - Price is per unit. Unit equals each card reader, each weigand reader, each call box (uses weigand reader).	\$16.00	8.0	\$128.00
1000 Brivo Onair Mobile Passes	1000 Brivo Onair Mobile Passes for a single Account, monthly subscription	\$62.50	1.0	\$62.50
500 Brivo Mobile Passes	500 Brivo Mobile Passes for a single account, monthly subscription	\$40.00	1.0	\$40.00

Subtotal	\$230.50
Tax	\$0.00
Invoice Total	\$230.50
Payments	\$0.00
Credits	\$0.00
<b>Balance Due</b>	<b>\$230.50</b>



Theresa Dimaggio

57200-4729

Access Control

INVOICE

Cooper Pools, CP Remodeling & Resurfacing  
4850 Allen Rd  
Zephyrhills, FL 33541-3551

estimates@cooperpoolsinc.com  
+1 (844) 766-5256



Cleaning Commercial Acct:Rizzetta & Company:Seven Oaks Fountains

Bill to  
Seven Oaks Fountains  
3434 Colwell Ave Suite 200  
Tampa, FL 33614 United States

Ship to  
Seven Oaks Fountains  
2910 Sports Core Circle  
Wesley Chapel, FL 33544  
United States

Invoice details Technician: Ken / Bob  
Invoice no.: 2025-1341  
Terms: Net 30  
Invoice date: 11/01/2025  
Due date: 12/01/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		COMMERCIAL SERVICE CALL / INSTALLATION	COMMERCIAL SERVICE CALL / INSTALLATION	2	\$250.00	\$500.00
2.		MISC PRODUCTS	Defoamer	1	\$55.00	\$55.00
3.			Technician noted bubbles in the fountain			

Total \$555.00

Ways to pay



View and pay

APPROVED  
John G. 11/12/25  
Code: 4643

INVOICE

Cooper Pools, CP Remodeling & Resurfacing  
4850 Allen Rd  
Zephyrhills, FL 33541-3551

estimates@cooperpoolsinc.com  
+1 (844) 766-5256



Cleaning Commercial Acct:Rizzetta & Company:Seven Oaks Fountains

Bill to  
Seven Oaks Fountains  
3434 Colwell Ave Suite 200  
Tampa, FL 33614 United States

Ship to  
Seven Oaks Fountains  
2910 Sports Core Circle  
Wesley Chapel, FL 33544  
United States

Invoice details

Invoice no.: 2025-1397  
Terms: Net 30  
Invoice date: 11/01/2025  
Due date: 12/01/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		Monthly Commercial Fountain Service	Commercial Monthly Fountain Service November 2025	1	\$350.00	\$350.00

Total \$350.00

Ways to pay



View and pay

APPROVED  
John G. 11/12/25  
Code: 4643



INVOICE

Cooper Pools, CP Remodeling & Resurfacing  
4850 Allen Rd  
Zephyrhills, FL 33541-3551

estimates@cooperpoolsinc.com  
+1 (844) 766-5256



Cleaning Commercial Acct:Rizzetta & Company:Seven Oaks Fountains

Bill to  
Seven Oaks Fountains  
3434 Colwell Ave Suite 200  
Tampa, FL 33614 United States

Ship to  
Seven Oaks Fountains  
2910 Sports Core Circle  
Wesley Chapel, FL 33544  
United States

Invoice details Technician: Bob / Andrew  
Invoice no.: 2025-1420  
Terms: Net 30  
Invoice date: 11/05/2025  
Due date: 12/05/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		ULTRA-C3 WHT SPG PENTAIR CART F 100 SQF C&C/ PREDATOR	ULTRA-C3 WHT SPG PENTAIR CART F 100 SQF C&C/ PREDATOR	1	\$117.18	\$117.18
2.		PENTAIR HIGH FLOW MANUAL AIR RELIEF VALVE	PENTAIR HIGH FLOW MANUAL AIR RELIEF VALVE	1	\$67.17	\$67.17
3.		COMMERCIAL SERVICE CALL / INSTALLATION	Install new air relief valve and filter	1	\$250.00	\$250.00
4.			Technician recommends replacing filter on the fountain			

Total \$434.35

Ways to pay



View and pay

APPROVED  
John G. 11/12/25  
Code: 4643

## INVOICE

Cooper Pools, CP Remodeling &  
Resurfacing  
4850 Allen Rd  
Zephyrhills, FL 33541-3551

estimates@cooperpoolsinc.com  
+1 (844) 766-5256



### Cleaning Commercial Acct:Rizzetta & Company:Seven Oaks Clubhouse

#### Bill to

Seven Oaks Clubhouse  
3434 Colwell Ave Suite 200  
Tampa, FL 33624

#### Ship to

Seven Oaks Clubhouse  
2910 Sports Core Circle  
Wesley Chapel, FL 33544

#### Invoice details

Technician: Ken

Invoice no.: 2025-1335  
Terms: Net 30  
Invoice date: 10/25/2025  
Due date: 11/24/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		BIOHAZARD CLEANUP	BIOHAZARD CLEANUP - Net, rebalance chemicals	1	\$250.00	\$250.00

Total

**\$250.00**

#### Ways to pay

VISA  DISCOVER  AMEX  BANK  PayPal  VENMO

View and pay

*Theresa Dmagg*  
57200-4717

## Discovery Golf Cars

3904 Land o Lakes Blvd  
Land o Lakes, FL 34639

Phone: 813-996-5522

Fax: 813-996-1204

Ethan@discoverygolfcars.com

discoverygolfcars.com

EZGO  
CUSHMAN  
EVOLUTION EV  
ICON EV  
EPIC CARTS  
STAR EV

## Invoice

Date	Invoice #
10/22/2025	98960

Bill To			Ship To			
Seven Oaks CDD 3434 Colwell Avenue Sute 200 Tampa, FL 33614			2910 Sports Core Circle Wesley Chapel, FL 33544			
Customer E-mail		maintenance@sevenoaksdc...				
Customer Phone	Customer Alt. P...	Customer Fax	Terms	P.O. No.	Rep	Tech
cell 813-230-7987					SA	SQ
Description			Qty	Rate	Amount	
3387751 CART EVALUATED BY KEVIN ONSITE 10/20/2025- SEE WORK NEEDED BELOW				0.00	0.00	
Gas Engine 13hp 689380			1	2,100.00	2,100.00	
labor			2	95.00	190.00	
degreaser, electrical terminals, rags, disposal, lubricants, misc hardware			1	22.95	22.95	
10/22/2025 APPROVED						
10/28/2025 JASON PICKED UP CART						
10" Turf Style Tires Mounted on Customers wheels			4	125.00	500.00	
FL Solid Waste Fee New Tires			4	1.00	4.00	
WANTS BEST TIRE KEPT AS A SPARE.						
10/31/2025 delivered cart						
<b>APPROVED</b> John G. 11/12/25 Code: 4660						
Received by: _____ Date: _____				Subtotal		\$2,816.95
Printed name: _____				Sales Tax (0.0%)		\$0.00
ALL SALES FINAL NO RETURNS ON ELECTRICAL PARTS ROAD SERVICE OR PICKUP AND DELIVERY NOT INCLUDED IN WARRANTY BALANCE DUE UPON RECEIPT A CREDIT CARD PROCESSING FEE OF 3% MAY BE APPLIED ALL INVOICES ARE SUBJECT TO A 5% PER MONTH LATE FEE AFTER 90 DAYS OF COMPLETION.				Total		\$2,816.95
				Payments/Credits		\$0.00
				Balance Due		\$2,816.95

**Home Office**

3441 E. Harbour Drive, Phoenix, AZ 85034

602.437.9530

EwingOutdoorSupply.com

**INVOICE 28156098**CREDIT ACCT  
# 230269202 Ewing Wesley Chapel  
26530 Wesley Chapel Blvd  
Lutz FL 33559  
PHN 8139072130 FAX 8139072095ORDER # 22222585  
PAGE 1 of 1  
ORDERED 10/28/2025  
TERMS 10th ProxSOLD TO: SEVEN OAKS COMM DEVELOPMENT DI  
# 230269 3434 COLWELL AVE SUITE 200  
TAMPA FL 33614  
PH 8139941001SHIP TO: John Gentilella  
3434 COLWELL AVE SUITE 200  
TAMPA FL 33614  
PH 8139941001

DELIVERY INSTRUCTIONS:

PO# WEB-P-000034813 BUYER: JohnGentilella PH:  
P21 JOB: EIP#: BY: CODY Y QUOTE#: WEB-P-00

EWING JOB: JOB REF:

QTY ORDER	QTY SHIP	QTY B/O	ITEM DESCRIPTION	NET	EXTENDED	LINE#
6.00	6.00	0.00	44009260 ICV-201G 2 COMMERCIAL VALVE	143.3624	860.17	1
6.00	6.00	0.00	04436020 2 PVC MALE ADAPTOR TXS	1.4917	8.95	2
2.00	2.00	0.00	04437338 3 X 2 PVC RED BUSHING SS	4.0569	8.11	3
4.00	4.00	0.00	04406020 2 PVC 90 ELL SS	2.3404	9.36	4
1.00	1.00	0.00	28004150 SS64103 3IN GEN TRENCH SHOVEL BLU WOOD	26.1300	26.13	6

**SUB-TOTAL:** 912.72**TOTAL FREIGHT:** 0.00**TAX:** 0.00**UNAPPLIED PAYMENT:** 0**AMOUNT DUE:** 912.72FILLED BY  
DATESIGNATURE  
Acknowledgement of receipt of goods listed above.

DELIVERED BY

PRINT NAME

DATE

NO CASH REFUNDS. Sale subject to terms and conditions on reverse

No recommendations have been made by, or provided to, the seller concerning the use of the pesticide covered by this invoice.

PROPOSITION 65 WARNING: Some of the products on your order may expose you to chemicals that are known to the State of California to cause cancer, birth defects and reproductive harm. Learn more at <https://www.P65warnings.ca.gov/>REMIT TO:  
Ewing Irrigation Products Inc.  
P.O. Box 208728  
Dallas, TX 75320-8728**APPROVED**

John G. 10/30/25

Code: 4609

ORIGINAL





# INVOICE

3441 E. HARBOUR DR., PHOENIX, AZ 85034  
PHONE (602) 437-9530  
WWW.ewingoutdoorsupply.com

RECEIVED  
NOV 10 2021

ORDER # 20578956  
INVOICE # 28179715  
PAGE 1 OF 1  
ORDERED 10/30/2025  
TERMS: 10th Prox  
\*230269\*

BY: .....

SOLD TO:

# 230269

1895 1 MB 0.672 E0097X I0187 D14704878375 S2 P10926753 0001:0003



SEVEN OAKS COMM DEVELOPMENT DI  
3434 COLWELL AVE STE 200  
TAMPA FL 33614-8390

REMIT TO: Ewing Irrigation Products Inc.  
P.O. Box 208728  
Dallas, TX 75320-8728

SHIP TO: SEVEN OAKS COMM DEVELOPMENT DI  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FL 33544  
US

DELIVERY INSTRUCTIONS: \_\_\_\_\_

PO#: \_\_\_\_\_ BUYER: ANGEL MONTAGNA PH: 8139941001  
P21 JOB: \_\_\_\_\_ EIP#: \_\_\_\_\_ BY: BILL S QUOTE#: \_\_\_\_\_  
EWING JOB: \_\_\_\_\_ JOB REF: \_\_\_\_\_

QTY	QTY	QTY	ITEM DESCRIPTION	NET	EXTENSION	LINE#
ORDER	SHIP	B/O				
Invoice Note:						
5.00	5.00	0.00	38006290 12IN BLACK VALVE BOX/PURPLE LID	28.89	144.45	1
150.00	150.00	0.00	17000545 L/P BLK/WHT CONN 150/CAN 600V	0.75	112.89	2

SUB-TOTAL: 257.34  
TOTAL FREIGHT: 0.00  
TAX: 0.00  
AMOUNT PAID: 0.00  
AMOUNT DUE: 257.34

# CARTONS

U.S Dollars

FILLED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

SIGNATURE \_\_\_\_\_

Acknowledgement of receipt of goods listed above.

DELIVERED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

PRINT NAME \_\_\_\_\_

NO CASH REFUNDS. Sale subject to terms and conditions on reverse

No recommendation has been made by, or provided to, the seller concerning the use of the pesticide covered by this invoice.

PROPOSITION 65 WARNING: Some of the products on your order may expose you to chemicals that are known to the State of California to cause cancer, birth defects, and reproductive harm. learn more at <https://www.p65warnings.ca.gov>.

0001:0003



# INVOICE

3441 E. HARBOUR DR., PHOENIX, AZ 85034  
PHONE (602) 437-9530  
WWW.ewingoutdoorsupply.com

RECEIVED  
NOV 10 2021

ORDER # 22233271  
INVOICE # 28184959  
PAGE 1 OF 1  
ORDERED 10/30/2025  
TERMS: 10th Prox  
\*230269\*

BY: .....

SOLD TO:  
# 230269

REMIT TO: Ewing Irrigation Products Inc.  
P.O. Box 208728  
Dallas, TX 75320-8728

1895 1 M8 0.672 E0097 I0188 D14704882895 S2 P10926753 0002:0003



SEVEN OAKS COMM DEVELOPMENT DI  
3434 COLWELL AVE STE 200  
TAMPA FL 33614-8390

SHIP TO: SEVEN OAKS COMM DEVELOPMENT DI  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FL 33544  
US

DELIVERY INSTRUCTIONS: \_\_\_\_\_

PO#: \_\_\_\_\_ BUYER: ANGEL MONTAGNA PH: 8139941001  
P21 JOB: \_\_\_\_\_ EIP#: \_\_\_\_\_ BY: BILL S QUOTE#: \_\_\_\_\_  
EWING JOB: \_\_\_\_\_ JOB REF: stock

QTY	QTY	QTY	ITEM DESCRIPTION	NET	EXTENSION	LINE#
ORDER	SHIP	B/O				
Invoice Note:						
150.00	150.00	0.00	17000545 L/P BLK/WHT CONN 150/CAN 600V	0.53	79.26	1



SUB-TOTAL: 79.26  
TOTAL FREIGHT: 0.00  
TAX: 0.00  
AMOUNT PAID: 0.00  
AMOUNT DUE: 79.26

# CARTONS

U.S Dollars

FILLED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SIGNATURE \_\_\_\_\_

Acknowledgement of receipt of goods listed above.

DELIVERED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

PRINT NAME \_\_\_\_\_

NO CASH REFUNDS. Sale subject to terms and conditions on reverse  
No recommendation has been made by, or provided to, the seller concerning the use of the pesticide covered by this invoice.  
PROPOSITION 65 WARNING: Some of the products on your order may expose you to chemicals that are known to the State of California to cause cancer, birth defects, and reproductive harm. learn more at <https://www.p65warnings.ca.gov>.

<https://www.fastsigns.com/2160-new-tampa-wesley-ch>

Payment Terms: Cash Customer

Created Date: 10/29/2025

**DESCRIPTION:** QTY 3 / SS / 3mm max metal / ROUTED / 46" W x 46" H / LAP POOL / SPLASH PAD / WADING POOL

**Bill To:** Seven Oaks CDD  
3434 Colwell Ave  
#200  
Tampa, FL 33614  
US

**Pickup At:** FASTSIGNS of Wesley Chapel  
19651 Bruce B Downs Blvd  
Ste C1  
Tampa, FL 33647  
US

**Ordered By:** Theresa Flores  
Email: clubhousemanager@sevenoakscdd.com  
Tax ID: 85-8012691725C-8

**Salesperson:** Derek Mills

NO.	Product Summary	QTY	UNIT PRICE	TAXABLE	AMOUNT
1	QTY 3 / SS / 3mm max metal / ROUTED / 46" W x 46" H / LAP POOL / SPLASH PAD / WADING POOL	3	\$388.00	\$0.00	\$1,164.00
1.1	Dibond/Max Metal 3mm (White) -				
1.2	Laminate - LAMINATE				
2	REMOVAL EXISTING / DISPOSAL / INSTALLATION NEW	1	\$450.00	\$0.00	\$450.00
2.1	Installation Subcontract - No Service Truck -				

FINE PRINT...PLEASE READ CAREFULLY: We appreciate the opportunity to provide you with outstanding signage products and service. Acceptance of this FASTSIGNS of Wesley Chapel (FSWC) invoice in any way, whether verbal, by email, by active participation or with monetary deposit, constitutes all of the following: the creation of this invoice as a purchase contract for exactly, and only, the custom signage products and services described and contained herein; and that this contract can only be cancelled in writing (not by email) received within 2 business days of invoice creation date; and that purchaser agrees to forfeit all deposit money paid regardless of work level begun or completed at the sole reasonable discretion of FSWC; and that any verbal discussions regarding details and/or changes to this contract do not apply to altering this contract; and that during the sales process, FSWC is not responsible for any implied or conveyed customer expectations that are not specifically covered in writing, in advance of signage production; and that the purchaser is responsible to carefully review signage proofs and purchaser's approval will constitute final sign production - POST-PRODUCTION changes or remake of signage will require additional payment; and that any PRE-PRODUCTION email discussion regarding details and/or changes to this contract, without direct FSWC response and acknowledgment of those changes, are not valid and do not apply to altering this contract; and that purchaser agrees to pay the invoice in full upon receipt of FINAL/COMPLETION invoice; and that past-due invoices will be subject to finance charges to the extent permitted by Florida law; and that the company takes full responsibility for the

<b>Subtotal:</b>	\$1,614.00
<b>Taxable Amount:</b>	\$0.00
<b>Taxes:</b>	\$0.00
<b>Grand Total:</b>	\$1,614.00
<b>Amount Paid:</b>	\$0.00
<b>BALANCE DUE:</b>	\$1,614.00

invoice listed listed contact buyer as having the authority to represent the said company listed on this purchase contract. Thank you.

Theresa Dimaggio

\* Please mail payment to the clubhouse

By Nov 14<sup>th</sup>.

57200-4647

Pool  
signs





State of Florida  
Department of Revenue

[DOR Home](#)[e-Services Home](#)[Print Page](#)[Contacts](#)[Logout](#)Sales Tax - [Click for Help](#)

NODE: 4

User ID:  
AF1275789201

Original Return

**FOR YOUR RECORDS ONLY - DO NOT MAIL**

Cancellations must be done before 5:00 p.m. ET on the submission date. If the submission is completed after 5:00 p.m. ET on the submission date, weekend, or holiday the cancellation must be done before 5:00 p.m. ET the next business day. All cancellations are permanently deleted from our database.

**Access Source: AF1275789201****Confirmation Number: 251119517104**

DR15-EZ

Certificate Number

Collection Period

Confirm Date and Time

61-8012757892-0

10/2025

11/19/2025 2:52:28 PM ET

**Location Address**2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764SEVEN OAKS COMMUNITY  
DEVELOPMENT DISTRICT  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764**Contact Information**

Name	BRIAN L HEUREUX
Phone	( 813 ) 933 - 5571
Email	BLHEUREUX@RIZZETTA.COM

Debit Date:

Amount for Check:



Bank Routing Number:

Bank Account Number:

Bank Account Type:

Corporate/Personal:

Name on Bank Account:

SEVEN OAKS  
COMMUNITY  
DEVELOPMENT  
DISTRICT

Due to federal security requirements, we can not process international ACH transactions. If any portion of the money used in the payment you may be making today came from a financial institution located outside of the US or its territories for the purpose of funding this payment, please do not proceed and contact the Florida Department of Revenue at 850-488-6800 to make other payment arrangements. By continuing, you are confirming that this payment is not an international ACH transaction. If you are unsure, please contact your financial institution.

I hereby authorize the Department of Revenue to process this ACH transaction and to debit the checking account identified above. I understand there may be service charges assessed on any transactions not honored by my bank.

Signature:

BRIAN L HEUREUX

Phone Number:

813-933-5571

Email Address:

BLHEUREUX@RIZZETTA.COM

1. Gross Sales  
(Do not include tax) 13149.71
2. Exempt Sales  
(Include these in Gross Sales, Line 1) 0.00
3. Taxable Sales/Purchases  
(Include Internet/Out-of-State Purchases) 13149.71

\$

\$

\$

**Discretionary Sales Surtax Information**

Taxable Sales and	
A. Purchases <b>Not</b> Subject to	\$ 0.00
Discretionary Sales	
Surtax	
B. Total Discretionary	
Sales Surtax Due	\$ 131.50

4. Total Tax Due \$ 920.48  
(Include Discretionary Sales Surtax from Line B)

5. Less Lawful Deductions \$ 0.00

6. Less DOR Credit Memo \$ 0.00

7. Net Tax Due \$ 920.48

8. a. **Less (-)** Collection Allowance; or if \$ 23.01  
Late,8. b. **Plus (+)** Penalty and Interest \$ 0.00

9. Amount Due With Return \$ 897.47

You have chosen not to donate your collection allowance to education.

**Payment you have authorized**

897.47



# Invoice FDS/TMP 14747

Date	PO#
11/01/25	
Sales Rep	Terms
Ellen Ushijima	Net 30

Remit To:  
7048 Narcoossee Rd.  
Orlando, FL 32822

Bill To
Theresa Flores 3434 COLWELL AVE. SUITE 200 TAMPA, FL 33614

Property Address
Seven Oaks Cdd Seven Oaks Clubhouse 2910 Sports Core Circle Wesley Chapel, FL 33544

Item	Amount
#3029 - INT-Seven Oaks- 2025 November 2025	\$134.00

Theresa D. Maggiora  
57200-4647

For your convenience we accept the following payment options:  
ACH: for Bank information email - [accountsreceivable@foliagedesign.com](mailto:accountsreceivable@foliagedesign.com)  
CC by Phone: VISA, MC, AMEX call 407-245-7776 to process payment  
CC by Portal: <https://connect.ebizcharge.net/fdo>  
Check: mail to Foliage Design Systems, 7048 Narcoossee Rd., Orlando, FL 32822

Thank you for your prompt payment - we appreciate it very much.

If you have any questions, please reach out to us at –  
[accountsreceivable@foliagedesign.com](mailto:accountsreceivable@foliagedesign.com)

Subtotal	\$134.00
Sales Tax	\$0.00
<b>Total</b>	<b>\$134.00</b>
Credits/Payments	(\$0.00)
<b>Balance Due</b>	<b>\$134.00</b>

FOUNTAIN DESIGN GROUP, INC.  
DBA CASCADE FOUNTAINS  
7628 NW 6TH AVENUE  
BOCA RATON, FL 33487  
561-994-3939

Invoice

Date	Invoice #
11/6/2025	37662A

Bill To
SEVEN OAKS CDD 3434 COLWELL AVENUE, STE. 200 TAMPA, FL. 33614

Ship To

P.O. No.	Terms	Rep	Ship Date	Ship Via	FOB	Project
	Due on receipt	SC	11/6/2025		TW	
Qty	Description				Rate	Amount
	NOVEMBER-JANUARY QUARTERLY FOUNTAIN CLEANING SERVICE ON THE ONE LAKE FOUNTAIN				200.00	200.00
<div>APPROVED</div> <div>John G. 11/10/25</div> <div>Code: 4643</div>						
					Total	\$200.00





SEVEN OAKS CDD

Account Number:  
813-994-3055-060923-5

Billing Date:  
Oct 09, 2025

Page 1/4

PIN:

Billing Period:  
Oct 09 - Nov 08, 2025

Hi SEVEN OAKS CDD,

Thanks for choosing Frontier! Have questions about your bill? Visit us at [frontier.com/billing](http://frontier.com/billing) to learn more.

### Bill history

Previous balance	\$124.99
Payment received by Oct 09, thank you	-\$124.99

### Service summary

	Previous month	Current month
Internet	\$124.99	\$124.99
<b>Total services</b>	<b>\$124.99</b>	<b>\$124.99</b>
<b>Total balance</b>		<b>\$124.99</b>

Total balance

**\$124.99**

Auto Pay is scheduled  
**Nov 03**

Manage your account, payments, and services anytime, anywhere with the MyFrontier app. Download your free app today. To learn more visit [frontier.com/myfrontierapp](http://frontier.com/myfrontierapp)

Earn more. Get started with a business referral and earn up to \$325 per referral. Learn more: <https://www.businessreferralrewards.com>



P.O. Box 211579  
Eagan, MN 55121-2879

6790 0107 DY RP 09 10092025 NNNNNNNN 01 000444 0002

SEVEN OAKS CDD  
3434 COLWELL AVE STE 200  
TAMPA FL 33614-8390

**You are all set with Auto Pay! To review your account, go to [frontier.com](http://frontier.com) or the MyFrontier app.**



5280008139943055060923000000000000000000124995



**SEVEN OAKS CDD** Account Number:  
**813-994-3055-060923-5**

Billing Date:  
**Oct 09, 2025**

PIN:

Billing Period:  
**Oct 09 - Nov 08, 2025**

## WAYS TO PAY YOUR BILL



Easy, simple, secure payments with  
Auto Pay at [frontier.com/autopay](https://frontier.com/autopay)



Download the  
MyFrontier® app



For help: Customer Service at [frontier.com/helpcenter](https://frontier.com/helpcenter), chat at [frontier.com/chat](https://frontier.com/chat), or call us at 800-921-8102.  
Visually impaired/TTY customers, call 711.

### PAYING YOUR BILL

You are responsible for all legitimate, undisputed charges on your bill. Paying by check authorizes Frontier to make a one-time electronic funds transfer from your account, as early as the day your check is received. When making an online payment, please allow time for the transfer of funds. If funds are received after the due date, you may be charged a fee, your service may be interrupted, and you may incur a reconnection charge to restore service. A fee may be charged for a bank returned check. Continued nonpayment of undisputed charges (incl. 900 and long distance charges) may result in collection action and a referral to credit reporting agencies, which may affect your credit rating.

### IMPORTANT MESSAGES

You must pay all basic local service charges to avoid basic service disconnection. Failure to pay other charges will not cause disconnection of your basic service but this may cause other services to be terminated. Frontier Bundles may include charges for both basic and other services. Frontier periodically audits its bills to ensure accuracy which may result in a retroactive or future billing adjustment. Internet speed, if noted, is the maximum wired connection speed for selected tier; Wi-Fi speeds may vary; actual and average speed may be slower and depends on multiple factors. Performance details are at [frontier.com/internetdisclosures](https://frontier.com/internetdisclosures).

### SERVICE TERMS

Visit [frontier.com/terms](https://frontier.com/terms), [frontier.com/tariffs](https://frontier.com/tariffs) or call Customer Service for information on tariffs, price lists and other important Terms, Conditions and Policies ("Terms") related to your voice, Internet and/or video services including limitations of liability, early termination fees, the effective date of and billing for the termination of service(s) and other important information about your rights and obligations, and ours. Frontier's Terms include a binding arbitration provision to resolve customer disputes ([frontier.com/terms/arbitration](https://frontier.com/terms/arbitration)). **Video and Internet services are subscription-based and are billed one full month in advance. Video and/or Internet service subscription cancellations and any early termination fees are effective on the last day of your Frontier billing cycle. No partial month credits or refunds will be provided for previously billed service subscriptions.** By using or paying for Frontier services, you are agreeing to these Terms and that disputes will be resolved by individual arbitration. By providing personal information to Frontier you are also agreeing to Frontier's Privacy Policy posted at [frontier.com/ctnetx-privacy](https://frontier.com/ctnetx-privacy).



**SEVEN OAKS CDD** Account Number:  
**813-994-3055-060923-5**

PIN:

Billing Date:  
**Oct 09, 2025**

Billing Period:  
**Oct 09 - Nov 08, 2025**

Don't let an unexpected outage stop your business. Get Frontier Internet Backup to keep your critical systems running. And for a limited time, you also get an 8-hour battery backup at no additional charge. Visit: [business.frontier.com/internet-backup](https://business.frontier.com/internet-backup)

---

## Internet

### Monthly Charges

10.09-11.08	Business Fiber Internet 1 Gig	\$104.99
	1 Usable Static IP Address	\$25.00
	Auto Pay Discount	-\$5.00
<b>Internet Total</b>		<b>\$124.99</b>

---

**Total current month charges**

**\$124.99**

---

## LET FRONTIER BE YOUR TECH SUPPORT

Tech issues won't wait until you have an IT team to fix them. Get the tech support you need without the overhead. Frontier Premium Tech Pro.

[business.frontier.com](https://business.frontier.com)

---

Purchase Order Number	Invoice Date	Invoice Number	Invoice Amount	Payment Due Date
	11/08/25	41875594	\$712.73	12/01/25



## Nature Of Service: Quarterly Billing

### Current Charges:

12/01/25 - 02/28/26

Recurring Service

Amount: \$712.73

Tax: \$0.00

\$712.73

**Total Balance Due:**
**\$712.73**

**Did you know... Failure to include your invoice could cause a delay in processing your payment.**

**Don't Forget to Include the Following With Your Payment:**  
**Customer Number**  
**Invoice Number**

Note any credit(s) and payment(s) open on your account may be applied to a non-disputed past due balance.

Security Monitoring  
 52900-3329

**Late Fee Policy:** A late fee of 1.5% (or highest rate permitted by law, if less) per month will be assessed on the unpaid Total Balance Due when more than 30 days past due.

### Customer Number:

01300 117462393

### Business/Account Name:

SEVEN OAKS COMMUNITY

### Service Address:

2910 Sports Core Cir  
 Developement District  
 Wesley Chapel, FL 33544-8764

For Questions: 1-800-289-2647 Opt 5

Sales/Relocation: 1-800-289-2647 Opt 5

Monitoring/Service: 1-800-289-2647 Opt 5

▶▶▶ SEE BACK FOR ▶▶▶  
 PAYMENT INFORMATION

Visit

<https://datasource.johnsoncontrols.com/>  
 to enroll in automatic payment options.

TEST YOUR ALARM SYSTEM MONTHLY TO CONFIRM YOUR SYSTEM IS OPERATIONAL

Page 1 of 2

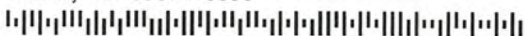
97

102

Johnson Controls Security Solutions  
 5920 Castleway West Drive  
 Indianapolis, IN 46250

7502 6000 N0 D0 D9 11092025 NNNNNNN 0003516 Non-2 1 02.

#BWNKFYG  
 #393264711003107#  
 SEVEN OAKS COMMUNITY  
 3434 COLWELL AVE  
 SUITE 200  
 DEVELOPMENT DISTRICT  
 TAMPA, FL 33614-8390



**Invoice Number:** 41875594  
**Invoice Date:** 11/08/25  
**Customer Number:** 01300 117462393  
**Due Date:** 12/01/25

Please Pay  
 This Amount

**\$712.73**

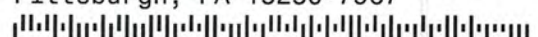
Amount  
 Enclosed: \$

▼ MAIL PAYMENT TO ▼

Payment Coupon Please detach and enclose this coupon with your payment. Do not send cash. Please write your customer number on your check or money order and make payable to: **Johnson Controls Security Solutions**

☐ If you want to make any changes to your billing or service account information, please check here and enter the new information on the back of this invoice.

Johnson Controls Security Solutions  
 P.O. Box 371967  
 Pittsburgh, PA 15250-7967



001174623930004187559401201250000712730000712738



**Due to increasing credit card processing costs, we impose a surcharge\* on the total transaction amount on credit card transactions of 2.6%, which is not greater than our credit card processing fee. We do not surcharge debit cards.**

**\*Due to statutory restrictions, we do not impose a surcharge on customers located in Connecticut, Maine, Massachusetts, New York or Colorado.**

### To Remit via ACH/Wire Transfer:

**Account Name:**

Johnson Controls Security Solutions LLC

**Account Number:**

0001057762

**Account Type:**

Checking

**Transit Routing Number:**

043000261

BNY Mellon, NA

500 Ross Street Pittsburgh, PA 15262-0001

**Remit address:**

remit@jci.com or ACH CTX



License information available by calling 1.800.289.2647. © 2017 Johnson Controls. All Rights Reserved. JOHNSON CONTROLS, THE JOHNSON CONTROLS LOGO and other trademarks listed above are registered in the US and/or other countries. Unauthorized use is strictly prohibited. FL:EF20000890, EF0000478, EF20000341

**MY BILLING INFORMATION IS INCORRECT. PLEASE CHANGE IT TO:**

*If you are moving, please do not complete this section. Please contact us at 1.800.289.2647.*

JOHNSON CONTROLS SECURITY SOLUTIONS CUSTOMER NUMBER

BUSINESS/ACCOUNT NAME

BILLING ADDRESS

CITY

ST

ZIP

BILLING LOCATION PHONE

BILLING LOCATION FAX

SERVICE LOCATION PHONE

EMAIL ADDRESS

For your convenience, you may mail the completed form to the following address:

Johnson Controls Security Solutions, Attn: Billing Dept 5920 Castleway West Dr. Indianapolis, IN 46250-1957



AUTHORIZED SIGNATURE (\*\*REQUIRED\*\*)

DATE

PRINT NAME





SEVEN OAKS CDD  
Seven Oaks  
3434 Colwell Ave #200  
Tampa, FL 33614

(813) 230-7987  
maintenance@sevenoakscdd.com

JOB	#250925
SERVICE DATE	Oct 31, 2025
INVOICE DATE	Oct 31, 2025
PAYMENT TERMS	Upon receipt
DUE DATE	Oct 31, 2025
AMOUNT DUE	<b>\$295.00</b>

SERVICE ADDRESS  
2910 Sports Core Cir  
Wesley Chapel, FL 33544

CONTACT US  
P.O. Box 270184  
Tampa, FL 33688

(813) 908-0035  
Luis@LeeElectricOnline.com

Service completed by: Alexander Hobby

INVOICE

Services	qty	unit price	amount
Custom Services - Custom Job Residential	1.0	\$295.00	\$295.00
Troubleshoot North roundabout. GFCI won't reset but the breakers are on. Receptacles installed on the white pergola. After arriving found that all 4 GFCI receptacles were tripped, I was able to reset 3 of them but one would not. Replaced that one and plugged in all the lights and everything works fine now.			

Subtotal	\$295.00
Job Total	\$295.00
Amount Due	<b>\$295.00</b>

Thank you for the opportunity to service your electrical needs!

See our [Terms & Conditions](#)

**APPROVED**  
John G. 11/12/25  
Code: 4616

**Pasco County Utilities Services  
Seven Oaks CDD**  
**Invoice # Summary Water 10/25                      Date: 11/10/25**  
**Service Dates: 9/9/25-10/8/25**

Customer #	Account #	Amount	Due Date	Service Address	GL Code	Code	Credit
01228300	0010595	\$ 188.87	11/10/2025	0 Summergate Blvd	53600	4310	
01228300	0010600	\$ 261.59	11/10/2025	0 Ancient Oaks Blvd	53600	4310	
01228302	0010605	\$ -	11/10/2025	0 Ancient Oaks/Beech	53600	4310	
01228300	0010610	\$ 143.42	11/10/2025	0 Ancient Oaks/Sport	53600	4310	
01228304	0010635	\$ 11.11	11/10/2025	0 Fordham Dr	53600	4310	
01228304	0010640	\$ 1.01	11/10/2025	0 Millhopper Ave	53600	4310	
01228303	0010645	\$ 34.34	11/10/2025	0 Silvermoss Dr	53600	4310	
01228302	0010650	\$ 26.26	11/10/2025	0 Kirkwood Cir	53600	4310	
01228302	0010655	\$ -	11/10/2025	0 Rosehaven Dr	53600	4310	
01228304	0010660	\$ 39.39	11/10/2025	0 Baybrook Loop	53600	4310	
01228303	0010675	\$ -	11/10/2025	0 Silvermoss Dr	53600	4310	
01228303	0010690	\$ 10.10	11/10/2025	0 Water Ash Dr	53600	4310	
01228304	0010695	\$ 39.39	11/10/2025	0 Arrowgrass Dr	53600	4310	
01228304	0010705	\$ -	11/10/2025	0 Ancient Oaks Blvd	53600	4310	
01228304	0010710	\$ -	11/10/2025	0 Edenfield Dr	53600	4310	
01228304	0010715	\$ 2.02	11/10/2025	0 Sisal Loop	53600	4310	
01228304	0010720	\$ 17.17	11/10/2025	0 Firebush Dr	53600	4310	
01228304	0010730	\$ -	11/10/2025	0 Pine Point Dr	53600	4310	
01228303	0010740	\$ 74.74	11/10/2025	0 Cotton Key Ln	53600	4310	
01228303	0010745	\$ 10.10	11/10/2025	0 Shoregrass Dr	53600	4310	
01228304	0010755	\$ -	11/10/2025	0 Laurel Chase Ln	53600	4310	
01228304	0010760	\$ -	11/10/2025	0 Pine Point Dr	53600	4310	
01228304	0010765	Credit	11/10/2025	0 Big Cypress Way	53600	4310	\$ 19.72
01228304	0010770	Credit	11/10/2025	0 Cedar Park Ct	53600	4310	\$ 56.41
01228304	0010775	Credit	11/10/2025	0 Blue Springs Pl	53600	4310	\$ 83.33
01228304	0010780	Credit	11/10/2025	0 Lake Valley Pl	53600	4310	\$ 32.98
01228304	0010785	Credit	11/10/2025	0 Water Ash Dr	53600	4310	\$ 24.11
01228304	0010790	\$ -	11/10/2025	0 Stillbrook Dr	53600	4310	
01228304	0010795	\$ -	11/10/2025	0 Edenfield Dr	53600	4310	
01228303	0010800	\$ 14.14	11/10/2025	3247 Chapel Creek Ci	53600	4310	
01228301	0010810	\$ 67.67	11/10/2025	0 Mystic Oaks Blvd	53600	4310	
01228304	0010815	Credit	11/10/2025	0 Mystic Oaks Blvd	53600	4310	\$ 165.00
01228301	0010820	Credit	11/10/2025	0 Mystic Oaks Blvd	53600	4310	\$ 165.00
01060349	0010835	\$ 16.16	11/10/2025	27403 Mistflower Dr	53600	4310	
01228304	0010845	\$ 35.35	11/10/2025	00000 Fawnmist Dr	53600	4310	
01228304	0010855	\$ -	11/10/2025	0 Fern Glade Ct	53600	4310	
01228303	0010875	Credit	11/10/2025	3152 Grassglen Pl	53600	4310	\$ 96.65
01228303	0010880	\$ -	11/10/2025	0 Fiddlers Green Loop	53600	4310	
01228304	0010885	\$ 266.64	11/10/2025	0 Ancient Oaks Blvd	53600	4310	
01228304	0010890	\$ 221.19	11/10/2025	0 Eagleston Blvd	53600	4310	
01228304	0010900	\$ 32.32	11/10/2025	0 Gentlewinds Pl	53600	4310	
01228304	0010905	\$ 6.06	11/10/2025	0 Rustic Pine Pl	53600	4310	
01228298	0010965	\$ 4.04	11/10/2025	10 Roseling Ct	53600	4310	
01228298	0010970	\$ 22.22	11/10/2025	10 Wildstar Cir- Park	53600	4310	
01228299	0010990	Credit	11/10/2025	0 Wildstar Cir	53600	4310	\$ 38.69
01228299	0010995	\$ -	11/10/2025	0 Kalanchoe Pl	53600	4310	
01228304	0011000	\$ 9.09	11/10/2025	0 Rustic Pine Pl	53600	4310	
01228304	0011010	\$ 13.13	11/10/2025	0 Granite Glen Loop	53600	4310	
01228303	0011015	\$ -	11/10/2025	0 Stonecreek Way	53600	4310	
01060339	0011020	Credit	11/10/2025	0 Winged Elm Dr	53600	4310	\$ 125.00
01228303	0011025	\$ 73.73	11/10/2025	0 Watermark Dr	53600	4310	
01228304	0011030	\$ 1.01	11/10/2025	0 Watermark Dr	53600	4310	
01228304	0011035	\$ 2.02	11/10/2025	0 Indigo Pond Ct	53600	4310	
01228305	0011070	Credit	11/10/2025	3964 Windcrest Dr	53600	4310	\$ 0.15
01228305	0011075	\$ 2.02	11/10/2025	4261 Windcrest Dr	53600	4310	
01228302	0469715	\$ 59.58	11/10/2025	0 Ancient Oaks Blvd	53600	4674	
01228302	0469720	\$ 17.94	11/10/2025	0 Ancient Oaks Blvd	53600	4674	
01228303	0469735	\$ 1,860.61	11/10/2025	2910 Sports Core Circ	53600	4301	
01369272	0989675	\$ -	11/10/2025	Vermillion Sky North	53600	4310	
01369272	0989680	\$ -	11/10/2025	Vermillion Sky South	53600	4310	
01369272	0989690	\$ 19.19	11/10/2025	Autumn Breeze Recla	53600	4310	

Total \$ 3,603.62 **ACH**

Total by Coc	4301	\$ 1,860.61	Recreational Facility
	4310	\$ 1,665.49	Reclaimed Water (Acct # starts with 100)
	4674	\$ 77.52	Decorative Entry Fountain
Grand Total		<u>\$ 3,603.62</u>	



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SEVEN OAKS CCD

Service Address: **0 SUMMERGATE BOULEVARD**

Bill Number: 23281088

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010595	01228300
Please use the 15-digit number below when making a payment through your bank	
001059501228300	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	43765803	9/9/2025	79349	10/8/2025	79536	29	187

Usage History

Water

October 2025	187
September 2025	19
August 2025	287
July 2025	51
June 2025	411
May 2025	398
April 2025	318
March 2025	22
February 2025	110
January 2025	249
December 2024	271
November 2024	293

Transactions

Previous Bill	15.39
Payment 10/09/25	-15.39 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	187 Thousand Gals X \$1.01 188.87
<b>Total Current Transactions</b>	188.87
<b>TOTAL BALANCE DUE</b>	<b>\$188.87</b>

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Account # 0010595  
Customer # 01228300  
Balance Forward 0.00  
Current Transactions 188.87

**Total Balance Due \$188.87**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CCD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CCD

Service Address: **0 ANCIENT OAKS BOULEVARD**

Bill Number: 23281087

Billing Date: 10/22/2025

Billing Period: 9/10/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010600	01228300
Please use the 15-digit number below when making a payment through your bank	
001060001228300	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	43765802	9/10/2025	62185	10/8/2025	62444	28	259

Usage History		
Water		
October 2025	259	
September 2025	67	
August 2025	409	
July 2025	167	
June 2025	527	
May 2025	651	
April 2025	463	
March 2025	73	
February 2025	195	
January 2025	191	
December 2024	509	
November 2024	508	

Transactions		
Previous Bill		54.27
Payment 10/09/25		-54.27 CR
<b>Balance Forward</b>		0.00
Current Transactions		
Reclaimed		
Reclaimed	259 Thousand Gals X \$1.01	261.59
<b>Total Current Transactions</b>		261.59
<b>TOTAL BALANCE DUE</b>		<b>\$261.59</b>



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Account # 0010600  
Customer # 01228300  
Balance Forward 0.00  
Current Transactions 261.59

**Total Balance Due \$261.59**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CCD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 ANCIENT OAKS/BEECH G**

Bill Number: 23281089

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010605	01228302
Please use the 15-digit number below when making a payment through your bank	
001060501228302	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08762403	9/9/2025	40666	10/8/2025	40666	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	1
July 2025	1
June 2025	6
May 2025	2
April 2025	2
March 2025	0
February 2025	3
January 2025	4
December 2024	0
November 2024	0

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0010605  
Customer # 01228302  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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Round-Up Donations to Charity

Amount Enclosed


☐ Check this box to participate in Round-Up.

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SEVEN OAKS CCD

Service Address: **0 ANCIENT OAKS/SPORTS**

Bill Number: 23281090

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010610	01228300
Please use the 15-digit number below when making a payment through your bank	
001061001228300	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08404817	9/9/2025	23057	10/8/2025	23199	29	142

Usage History

Water

October 2025	142
September 2025	22
August 2025	204
July 2025	56
June 2025	290
May 2025	347
April 2025	275
March 2025	16
February 2025	94
January 2025	210
December 2024	244
November 2024	316

Transactions

Previous Bill	17.82
Payment 10/09/25	-17.82 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	142 Thousand Gals X \$1.01 143.42
<b>Total Current Transactions</b>	143.42
<b>TOTAL BALANCE DUE</b>	<b>\$143.42</b>

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Account # 0010610  
Customer # 01228300  
Balance Forward 0.00  
Current Transactions 143.42

**Total Balance Due \$143.42**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CCD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 FORDHAM DR**

Bill Number: 23281091

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010635	01228304
Please use the 15-digit number below when making a payment through your bank	
001063501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075228	9/9/2025	1823	10/8/2025	1834	29	11

Usage History

Water

October 2025	11
September 2025	13
August 2025	11
July 2025	9
June 2025	12
May 2025	10
April 2025	10
March 2025	0
February 2025	17
January 2025	16
December 2024	19
November 2024	21

Transactions

Previous Bill	10.53
Payment 10/09/25	-10.53 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	11 Thousand Gals X \$1.01 11.11
<b>Total Current Transactions</b>	11.11
<b>TOTAL BALANCE DUE</b>	<b>\$11.11</b>

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Account # 0010635  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 11.11

**Total Balance Due \$11.11**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 MILLHOPPER AVENUE**

Bill Number: 23281092

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010640	01228304
Please use the 15-digit number below when making a payment through your bank	
001064001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399014	9/9/2025	291	10/8/2025	292	29	1

Usage History

Water

October 2025	1
September 2025	0
August 2025	6
July 2025	8
June 2025	8
May 2025	5
April 2025	3
March 2025	1
February 2025	3
January 2025	3
December 2024	4
November 2024	4

Transactions

Current Transactions

Reclaimed

Reclaimed 1 Thousand Gals X \$1.01 1.01

**Total Current Transactions**

1.01

**TOTAL BALANCE DUE**

**\$1.01**



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Account # 0010640

Customer # 01228304

Balance Forward 0.00

Current Transactions 1.01

**Total Balance Due \$1.01**

**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 SILVERMOSS DR**

Bill Number: 23281094

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010645	01228303
Please use the 15-digit number below when making a payment through your bank	
001064501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	11010345	9/9/2025	20404	10/8/2025	20438	29	34

Usage History

Water

October 2025	34
September 2025	28
August 2025	18
July 2025	29
June 2025	32
May 2025	22
April 2025	24
March 2025	33
February 2025	43
January 2025	34
December 2024	53
November 2024	8

Transactions

Previous Bill	22.68
Payment 10/09/25	-22.68 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	34 Thousand Gals X \$1.01
	34.34
<b>Total Current Transactions</b>	34.34
<b>TOTAL BALANCE DUE</b>	<b>\$34.34</b>

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Account # 0010645  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 34.34

**Total Balance Due \$34.34**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 KIRKWOOD CIRCLE**

Bill Number: 23281093

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010650	01228302
Please use the 15-digit number below when making a payment through your bank	
001065001228302	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	11010346	9/9/2025	3192	10/8/2025	3218	29	26

Usage History

Water

October 2025	26
September 2025	29
August 2025	28
July 2025	29
June 2025	26
May 2025	15
April 2025	9
March 2025	0
February 2025	15
January 2025	13
December 2024	17
November 2024	14

Transactions

Previous Bill	23.49
Payment 10/09/25	-23.49 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	26 Thousand Gals X \$1.01
	26.26
<b>Total Current Transactions</b>	26.26
<b>TOTAL BALANCE DUE</b>	<b>\$26.26</b>

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Account # 0010650  
Customer # 01228302  
Balance Forward 0.00  
Current Transactions 26.26

**Total Balance Due \$26.26**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 ROSEHAVEN DR**

Bill Number: 23281095

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010655	01228302
Please use the 15-digit number below when making a payment through your bank	
001065501228302	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075213	9/9/2025	923	10/8/2025	923	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	1
March 2025	0
February 2025	0
January 2025	1
December 2024	0
November 2024	0

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0010655  
Customer # 01228302  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

SEVEN OAKS CDD  
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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 BAYBROOK LOOP**

Bill Number: 23281096  
Billing Date: 10/22/2025  
Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010660	01228304
Please use the 15-digit number below when making a payment through your bank	
001066001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399018	9/9/2025	1637	10/8/2025	1676	29	39

Usage History		
Water		
October 2025	39	
September 2025	42	
August 2025	43	
July 2025	41	
June 2025	40	
May 2025	41	
April 2025	31	
March 2025	63	
February 2025	29	
January 2025	20	
December 2024	64	
November 2024	4	

Transactions		
Previous Bill		34.02
Payment 10/09/25		-34.02 CR
<b>Balance Forward</b>		0.00
Current Transactions		
Reclaimed		
Reclaimed	39 Thousand Gals X \$1.01	39.39
<b>Total Current Transactions</b>		39.39
<b>TOTAL BALANCE DUE</b>		<b>\$39.39</b>



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Account # 0010660  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 39.39

**Total Balance Due \$39.39**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
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SEVEN OAKS CDD

Service Address: **0 SILVERMOSS DR**

Bill Number: 23281097

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010675	01228303
Please use the 15-digit number below when making a payment through your bank	
001067501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399013	9/9/2025	568	10/8/2025	568	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	1
July 2025	4
June 2025	6
May 2025	5
April 2025	6
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0010675  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 WATER ASH DR**

Bill Number: 23281098

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010690	01228303
Please use the 15-digit number below when making a payment through your bank	
001069001228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399003	9/9/2025	2385	10/8/2025	2395	29	10

Usage History

Water

October 2025	10
September 2025	13
August 2025	15
July 2025	18
June 2025	19
May 2025	16
April 2025	21
March 2025	21
February 2025	22
January 2025	22
December 2024	23
November 2024	24

Transactions

Previous Bill	10.53
Payment 10/09/25	-10.53 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	10 Thousand Gals X \$1.01 10.10
<b>Total Current Transactions</b>	10.10
<b>TOTAL BALANCE DUE</b>	<b>\$10.10</b>

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Account # 0010690  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 10.10

**Total Balance Due \$10.10**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
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SEVEN OAKS CDD

Service Address: **0 ARROWGRASS DR**

Bill Number: 23281099

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010695	01228304
Please use the 15-digit number below when making a payment through your bank	
001069501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	11010344	9/9/2025	6853	10/8/2025	6892	29	39

Usage History

Water

October 2025	39
September 2025	42
August 2025	38
July 2025	29
June 2025	40
May 2025	40
April 2025	35
March 2025	31
February 2025	27
January 2025	29
December 2024	25
November 2024	28

Transactions

Previous Bill	34.02
Payment 10/09/25	-34.02 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	39 Thousand Gals X \$1.01 39.39
<b>Total Current Transactions</b>	39.39
<b>TOTAL BALANCE DUE</b>	<b>\$39.39</b>



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Account # 0010695  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 39.39

**Total Balance Due \$39.39**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 ANCIENT OAKS BOULEVARD**

Bill Number: 23281101

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010705	01228304
Please use the 15-digit number below when making a payment through your bank	
001070501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	16555196	9/9/2025	12825	10/8/2025	12825	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0010705  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 EDENFIELD DR**

Bill Number: 23281100

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010710	01228304
Please use the 15-digit number below when making a payment through your bank	
001071001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075214	9/9/2025	2531	10/8/2025	2531	29	0

Usage History

Water

October 2025	0
September 2025	1
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	12
January 2025	11
December 2024	14
November 2024	32

Transactions

Previous Bill	0.81
Payment 10/09/25	-0.81 CR
<b>Balance Forward</b>	<b>0.00</b>
<b>TOTAL BALANCE DUE</b>	<b>\$0.00</b>

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Account # 0010710  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 SISAL LOOP**

Bill Number: 23281102

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010715	01228304
Please use the 15-digit number below when making a payment through your bank	
001071501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075223	9/9/2025	1484	10/8/2025	1486	29	2

Usage History

Water

October 2025	2
September 2025	2
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	1
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	1

Transactions

Previous Bill	1.62
Payment 10/09/25	-1.62 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	2 Thousand Gals X \$1.01
	2.02
<b>Total Current Transactions</b>	2.02
<b>TOTAL BALANCE DUE</b>	<b>\$2.02</b>

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Account # 0010715  
Customer # 01228304

Balance Forward 0.00  
Current Transactions 2.02

**Total Balance Due \$2.02**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 FIREBUSH DR**

Bill Number: 23281103

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010720	01228304
Please use the 15-digit number below when making a payment through your bank	
001072001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075226	9/9/2025	1516	10/8/2025	1533	29	17

Usage History

Water

October 2025	17
September 2025	15
August 2025	16
July 2025	18
June 2025	15
May 2025	5
April 2025	6
March 2025	3
February 2025	8
January 2025	5
December 2024	8
November 2024	68

Transactions

Previous Bill	12.15
Payment 10/09/25	-12.15 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	17 Thousand Gals X \$1.01
	17.17
<b>Total Current Transactions</b>	17.17
<b>TOTAL BALANCE DUE</b>	<b>\$17.17</b>

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Account # 0010720  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 17.17

**Total Balance Due \$17.17**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
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SEVEN OAKS CDD

Service Address: **0 PINE POINT DR**

Bill Number: 23281104

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010730	01228304
Please use the 15-digit number below when making a payment through your bank	
001073001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	09016347	9/9/2025	663	10/8/2025	663	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	2
December 2024	3
November 2024	2

Transactions

	0.00
<b>TOTAL BALANCE DUE</b>	<b>\$0.00</b>



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Account #	0010730
Customer #	01228304
Balance Forward	0.00
Current Transactions	0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 COTTON KEY LANE**

Bill Number: 23281105

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010740	01228303
Please use the 15-digit number below when making a payment through your bank	
001074001228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08075225	9/9/2025	2680	10/8/2025	2754	29	74

Usage History

Water

October 2025	74
September 2025	78
August 2025	78
July 2025	72
June 2025	72
May 2025	49
April 2025	15
March 2025	16
February 2025	16
January 2025	14
December 2024	19
November 2024	22

Transactions

Previous Bill	63.18
Payment 10/09/25	-63.18 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	74 Thousand Gals X \$1.01
	74.74
<b>Total Current Transactions</b>	74.74
<b>TOTAL BALANCE DUE</b>	<b>\$74.74</b>

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Account # 0010740  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 74.74

**Total Balance Due \$74.74**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 SHOREGRASS DR**

Bill Number: 23281106

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010745	01228303
Please use the 15-digit number below when making a payment through your bank	
001074501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08404824	9/9/2025	1217	10/8/2025	1227	29	10

Usage History

Water

October 2025	10
September 2025	15
August 2025	11
July 2025	10
June 2025	12
May 2025	9
April 2025	12
March 2025	13
February 2025	15
January 2025	14
December 2024	14
November 2024	17

Transactions

Previous Bill	12.15
Payment 10/09/25	-12.15 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	10 Thousand Gals X \$1.01 10.10
<b>Total Current Transactions</b>	10.10
<b>TOTAL BALANCE DUE</b>	<b>\$10.10</b>

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Account # 0010745  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 10.10

**Total Balance Due \$10.10**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 LAUREL CHASE LANE**

Bill Number: 23281108

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010755	01228304
Please use the 15-digit number below when making a payment through your bank	
001075501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399015	9/9/2025	680	10/8/2025	680	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	15
July 2025	18
June 2025	25
May 2025	3
April 2025	0
March 2025	0
February 2025	0
January 2025	1
December 2024	8
November 2024	0

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0010755  
Customer # 01228304

Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

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Round-Up Donations to Charity

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SEVEN OAKS CDD

Service Address: **0 PINE POINT DR**

Bill Number: 23281109

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010760	01228304
Please use the 15-digit number below when making a payment through your bank	
001076001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399021	9/9/2025	763	10/8/2025	763	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	9
April 2025	12
March 2025	16
February 2025	15
January 2025	15
December 2024	16
November 2024	17

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0010760  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 BIG CYPRESS WAY**

Bill Number: 23281110

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010765	01228304
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001076501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	12703396	9/9/2025	205	10/8/2025	205	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	1

Transactions

Previous Bill	-19.72 CR
<b>Balance Forward</b>	-19.72 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$19.72 CR</b>



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Account #	0010765
Customer #	01228304
Balance Forward	-19.72 CR
Current Transactions	-19.72 CR

**Total Balance Due - \$19.72 CR**

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SEVEN OAKS CDD

Service Address: **0 CEDAR PARK CT**

Bill Number: 23281111

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010770	01228304
Please use the 15-digit number below when making a payment through your bank	
001077001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241283	9/9/2025	113	10/8/2025	113	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	2
March 2025	0
February 2025	0
January 2025	1
December 2024	1
November 2024	1

Transactions

Previous Bill	-56.41 CR
<b>Balance Forward</b>	-56.41 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$56.41 CR</b>



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Account # 0010770  
Customer # 01228304  
Balance Forward -56.41 CR  
Current Transactions -56.41 CR

**Total Balance Due - \$56.41 CR**

**CREDIT - DO NOT PAY**

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SEVEN OAKS CDD

Service Address: **0 BLUE SPRINGS PLACE**

Bill Number: 23281112

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010775	01228304
Please use the 15-digit number below when making a payment through your bank	
001077501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241326	9/9/2025	80	10/8/2025	80	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

Previous Bill	-83.33 CR
<b>Balance Forward</b>	<b>-83.33 CR</b>
<b>TOTAL BALANCE DUE</b>	<b>-\$83.33 CR</b>

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Account # 0010775  
Customer # 01228304

Balance Forward -83.33 CR  
Current Transactions -83.33 CR

**Total Balance Due - \$83.33 CR**

**CREDIT - DO NOT PAY**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 LAKE VALLEY PLACE**

Bill Number: 23281113

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010780	01228304
Please use the 15-digit number below when making a payment through your bank	
001078001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241327	9/9/2025	144	10/8/2025	144	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	1
February 2025	1
January 2025	0
December 2024	1
November 2024	1

Transactions

Previous Bill	-32.98 CR
<b>Balance Forward</b>	-32.98 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$32.98 CR</b>



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Account #	0010780
Customer #	01228304
Balance Forward	-32.98 CR
Current Transactions	-32.98 CR

**Total Balance Due - \$32.98 CR**

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**CREDIT - DO NOT PAY**

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SEVEN OAKS CDD

Service Address: **0 WATER ASH DR**

Bill Number: 23281114

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010785	01228304
Please use the 15-digit number below when making a payment through your bank	
001078501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	07235215	9/9/2025	140	10/8/2025	140	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	1
April 2025	0
March 2025	1
February 2025	1
January 2025	1
December 2024	1
November 2024	1

Transactions

Previous Bill	-24.11 CR
<b>Balance Forward</b>	-24.11 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$24.11 CR</b>

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Account #	0010785
Customer #	01228304
Balance Forward	-24.11 CR
Current Transactions	-24.11 CR

**Total Balance Due - \$24.11 CR**

**CREDIT - DO NOT PAY**

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SEVEN OAKS CDD

Service Address: **0 STILLBROOK DR**

Bill Number: 23281115

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010790	01228304
Please use the 15-digit number below when making a payment through your bank	
001079001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241565	9/9/2025	344	10/8/2025	344	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0010790  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

SEVEN OAKS CDD  
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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 EDENFIELD DR**

Bill Number: 23281116

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010795	01228304
Please use the 15-digit number below when making a payment through your bank	
001079501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399005	9/9/2025	0	10/8/2025	0	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	15
March 2025	6
March 2025	6
February 2025	14
January 2025	0
December 2024	0

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0010795  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **3247 CHAPEL CREEK CIRCLE**

Bill Number: 23281117

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010800	01228303
Please use the 15-digit number below when making a payment through your bank	
001080001228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	13915301	9/9/2025	8697	10/8/2025	8711	29	14

Usage History

Water

October 2025	14
September 2025	17
August 2025	8
July 2025	10
June 2025	12
May 2025	12
April 2025	12
March 2025	13
February 2025	38
January 2025	38
December 2024	51
November 2024	41

Transactions

Previous Bill	13.77
Payment 10/09/25	-13.77 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	14 Thousand Gals X \$1.01 14.14
<b>Total Current Transactions</b>	14.14
<b>TOTAL BALANCE DUE</b>	<b>\$14.14</b>

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Account # 0010800  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 14.14

**Total Balance Due \$14.14**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE STE 200  
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SEVEN OAKS CDD

Service Address: **0 MYSTIC OAKS BOULEVARD**

Bill Number: 23281118

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010810	01228301
Please use the 15-digit number below when making a payment through your bank	
001081001228301	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	13113816	9/9/2025	30354	10/8/2025	30421	29	67

Usage History

Water

October 2025	67
September 2025	2
August 2025	106
July 2025	20
June 2025	128
May 2025	206
April 2025	162
March 2025	2
February 2025	43
January 2025	110
December 2024	140
November 2024	208

Transactions

Previous Bill	1.62
Payment 10/09/25	-1.62 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	67 Thousand Gals X \$1.01 67.67
<b>Total Current Transactions</b>	67.67
<b>TOTAL BALANCE DUE</b>	<b>\$67.67</b>

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Account # 0010810  
Customer # 01228301  
Balance Forward 0.00  
Current Transactions 67.67

**Total Balance Due \$67.67**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 MYSTIC OAKS BOULEVARD**

Bill Number: 23281119

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010815	01228304
Please use the 15-digit number below when making a payment through your bank	
001081501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	15556918	9/9/2025	14406	10/8/2025	14406	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

Previous Bill	-165.00 CR
<b>Balance Forward</b>	-165.00 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$165.00 CR</b>



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Account #	0010815
Customer #	01228304
Balance Forward	-165.00 CR
Current Transactions	-165.00 CR

**Total Balance Due - \$165.00 CR**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 MYSTIC OAKS BOULEVARD**

Bill Number: 23281120

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010820	01228301
Please use the 15-digit number below when making a payment through your bank	
001082001228301	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	15556917	9/9/2025	6941	10/8/2025	6941	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

Previous Bill	-165.00 CR
<b>Balance Forward</b>	-165.00 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$165.00 CR</b>



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Account #	0010820
Customer #	01228301
Balance Forward	-165.00 CR
Current Transactions	-165.00 CR
<b>Total Balance Due</b>	<b>-\$165.00 CR</b>

**CREDIT - DO NOT PAY**

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SEVEN OAKS COMM DEV DISTRICT II

Service Address: **27403 MISTFLOWER DR**

Bill Number: 23281122

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010835	01060349
Please use the 15-digit number below when making a payment through your bank	
001083501060349	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14994342	9/9/2025	2113	10/8/2025	2129	29	16

Usage History

Water

October 2025	16
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	16
April 2025	20
March 2025	22
February 2025	25
January 2025	22
December 2024	14
November 2024	5

Transactions

Current Transactions

Reclaimed

Reclaimed 16 Thousand Gals X \$1.01 16.16

**Total Current Transactions**

16.16

**TOTAL BALANCE DUE**

**\$16.16**



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Account # 0010835

Customer # 01060349

Balance Forward 0.00

Current Transactions 16.16

**Total Balance Due \$16.16**

**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS COMM DEV DISTRICT II  
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SEVEN OAKS CDD

Service Address: **0 FAWN Mist DR**

Bill Number: 23281124

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010845	01228304
Please use the 15-digit number below when making a payment through your bank	
001084501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	06707280	9/9/2025	2770	10/8/2025	2805	29	35

Usage History

Water

October 2025	35
September 2025	10
August 2025	3
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	4
February 2025	7
January 2025	7
December 2024	7
November 2024	5

Transactions

Previous Bill	8.10
Payment 10/09/25	-8.10 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	35 Thousand Gals X \$1.01
	35.35
<b>Total Current Transactions</b>	35.35
<b>TOTAL BALANCE DUE</b>	<b>\$35.35</b>

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Account # 0010845  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 35.35

**Total Balance Due \$35.35**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 FERN GLADE CT**

Bill Number: 23281125

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010855	01228304
Please use the 15-digit number below when making a payment through your bank	
001085501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	06707284	9/9/2025	2722	10/8/2025	2722	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	7
April 2025	9
March 2025	12
February 2025	11
January 2025	13
December 2024	10
November 2024	9

Transactions

**TOTAL BALANCE DUE \$0.00**

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Account # 0010855  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

Round-Up Donations to Charity

Amount Enclosed

☐ Check this box to participate in Round-Up.

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SEVEN OAKS CDD

Service Address: **3152 GRASSGLEN PLACE**

Bill Number: 23281126

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010875	01228303
Please use the 15-digit number below when making a payment through your bank	
001087501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	190811999	9/9/2025	51	10/8/2025	56	29	5

Usage History

Water

October 2025	5
September 2025	6
August 2025	4
July 2025	0
June 2025	0
May 2025	0
April 2025	1
March 2025	0
February 2025	0
January 2025	1
December 2024	0
November 2024	0

Transactions

Previous Bill	-101.70 CR
<b>Balance Forward</b>	-101.70 CR
Current Transactions	
Reclaimed	
Reclaimed	5 Thousand Gals X \$1.01 5.05
<b>Total Current Transactions</b>	5.05
<b>TOTAL BALANCE DUE</b>	<b>-\$96.65 CR</b>

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Account #	0010875
Customer #	01228303
Balance Forward	-101.70 CR
Current Transactions	5.05
<b>Total Balance Due</b>	<b>-\$96.65 CR</b>

**CREDIT - DO NOT PAY**

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SEVEN OAKS CDD

Service Address: **0 FIDDLERS GREEN LOOP**

Bill Number: 23281128

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0010880	01228303
Please use the 15-digit number below when making a payment through your bank	
001088001228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14994345	9/9/2025	3783	10/8/2025	3783	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	3
July 2025	0
June 2025	3
May 2025	5
April 2025	6
March 2025	3
February 2025	6
January 2025	6
December 2024	6
November 2024	6

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0010880  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

SEVEN OAKS CDD  
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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **0 ANCIENT OAKS BOULEVARD**

Bill Number: 23281127

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010885	01228304
Please use the 15-digit number below when making a payment through your bank	
001088501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08404810	9/9/2025	21012	10/8/2025	21276	29	264

Usage History

Water

October 2025	264
September 2025	69
August 2025	200
July 2025	92
June 2025	172
May 2025	243
April 2025	187
March 2025	13
February 2025	53
January 2025	102
December 2024	143
November 2024	224

Transactions

Previous Bill	55.89
Payment 10/09/25	-55.89 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	264 Thousand Gals X \$1.01 266.64
<b>Total Current Transactions</b>	266.64
<b>TOTAL BALANCE DUE</b>	<b>\$266.64</b>

Please return this portion with payment

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Account # 0010885  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 266.64

**Total Balance Due \$266.64**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 EAGLESTON BOULEVARD**

Bill Number: 23281129

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010890	01228304
Please use the 15-digit number below when making a payment through your bank	
001089001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	0604845	9/9/2025	79574	10/8/2025	79793	29	219

Usage History

Water

October 2025	219
September 2025	86
August 2025	232
July 2025	128
June 2025	195
May 2025	249
April 2025	171
March 2025	18
February 2025	59
January 2025	89
December 2024	97
November 2024	166

Transactions

Previous Bill	69.66
Payment 10/09/25	-69.66 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	219 Thousand Gals X \$1.01 221.19
<b>Total Current Transactions</b>	221.19
<b>TOTAL BALANCE DUE</b>	<b>\$221.19</b>

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Account # 0010890  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 221.19

**Total Balance Due \$221.19**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 GENTLEWINDS PLACE**

Bill Number: 23281130

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010900	01228304
Please use the 15-digit number below when making a payment through your bank	
001090001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14994343	9/9/2025	4321	10/8/2025	4353	29	32

Usage History

Water

October 2025	32
September 2025	38
August 2025	39
July 2025	39
June 2025	33
May 2025	40
April 2025	14
March 2025	5
February 2025	25
January 2025	25
December 2024	26
November 2024	26

Transactions

Previous Bill	30.78
Payment 10/09/25	-30.78 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	32 Thousand Gals X \$1.01 32.32
<b>Total Current Transactions</b>	32.32
<b>TOTAL BALANCE DUE</b>	<b>\$32.32</b>

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Account # 0010900  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 32.32

**Total Balance Due \$32.32**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 RUSTIC PINE PLACE**

Bill Number: 23281131

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010905	01228304
Please use the 15-digit number below when making a payment through your bank	
001090501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	0602074	9/9/2025	6874	10/8/2025	6880	29	6

Usage History

Water

October 2025	6
September 2025	8
August 2025	6
July 2025	5
June 2025	7
May 2025	5
April 2025	6
March 2025	6
February 2025	8
January 2025	6
December 2024	7
November 2024	7

Transactions

Previous Bill	6.48
Payment 10/09/25	-6.48 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	6 Thousand Gals X \$1.01
	6.06
<b>Total Current Transactions</b>	6.06
<b>TOTAL BALANCE DUE</b>	<b>\$6.06</b>

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Account # 0010905  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 6.06

**Total Balance Due \$6.06**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAK CDD

Service Address: **10 ROSELING CT**

Bill Number: 23281132

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010965	01228298
Please use the 15-digit number below when making a payment through your bank	
001096501228298	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241566	9/9/2025	1936	10/8/2025	1940	29	4

Usage History

Water

October 2025	4
September 2025	6
August 2025	5
July 2025	3
June 2025	5
May 2025	4
April 2025	4
March 2025	6
February 2025	8
January 2025	7
December 2024	8
November 2024	0

Transactions

Previous Bill	4.86
Payment 10/09/25	-4.86 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	4 Thousand Gals X \$1.01
	4.04
<b>Total Current Transactions</b>	4.04
<b>TOTAL BALANCE DUE</b>	<b>\$4.04</b>

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Account # 0010965  
Customer # 01228298  
Balance Forward 0.00  
Current Transactions 4.04

**Total Balance Due \$4.04**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAK CDD

Service Address: **10 WILDSTAR CIR - PARK**

Bill Number: 23281133

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010970	01228298
Please use the 15-digit number below when making a payment through your bank	
001097001228298	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	17580270	9/9/2025	1489	10/8/2025	1511	29	22

Usage History		
Water		
October 2025	22	
September 2025	28	
August 2025	30	
July 2025	28	
June 2025	25	
May 2025	15	
April 2025	10	
March 2025	9	
February 2025	11	
January 2025	16	
December 2024	21	
November 2024	4	

Transactions		
Previous Bill		22.68
Payment 10/09/25		-22.68 CR
<b>Balance Forward</b>		0.00
Current Transactions		
Reclaimed		
Reclaimed	22 Thousand Gals X \$1.01	22.22
<b>Total Current Transactions</b>		22.22
<b>TOTAL BALANCE DUE</b>		<b>\$22.22</b>



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Account # 0010970  
Customer # 01228298  
Balance Forward 0.00  
Current Transactions 22.22

**Total Balance Due \$22.22**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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29-10025

SEVEN OAKS

Service Address: **0 WILDSTAR CIRCLE**

Bill Number: 23324387

Billing Date: 10/30/2025

Billing Period: 8/28/2025 to 9/29/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0010990	01228299
Please use the 15-digit number below when making a payment through your bank	
001099001228299	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	67234048	8/28/2025	480	9/29/2025	480	32	0

Usage History  
Water

September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	1
March 2025	3
February 2025	2
January 2025	3
December 2024	3
November 2024	2
October 2024	3

Transactions

Previous Bill	-38.69 CR
<b>Balance Forward</b>	-38.69 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$38.69 CR</b>



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Account #	0010990
Customer #	01228299
Balance Forward	-38.69 CR
Current Transactions	-38.69 CR

**Total Balance Due - \$38.69 CR**

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**CREDIT - DO NOT PAY**

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SEVEN OAKS

Service Address: **0 KALANCHOE PLACE**

Bill Number: 23281135

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
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Account #	Customer #
0010995	01228299
Please use the 15-digit number below when making a payment through your bank	
001099501228299	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	67234047	9/9/2025	1332	10/8/2025	1332	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	1
May 2025	2
April 2025	50
March 2025	3
February 2025	3
January 2025	4
December 2024	3
November 2024	2

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0010995  
Customer # 01228299  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

SEVEN OAKS  
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Round-Up Donations to Charity

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SEVEN OAKS CDD

Service Address: **0 RUSTIC PINE PLACE**

Bill Number: 23281134

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011000	01228304
Please use the 15-digit number below when making a payment through your bank	
001100001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	15104610	9/9/2025	676	10/8/2025	685	29	9

Usage History

Water

October 2025	9
September 2025	9
August 2025	8
July 2025	9
June 2025	8
May 2025	7
April 2025	9
March 2025	8
February 2025	0
January 2025	0
December 2024	1
November 2024	2

Transactions

Previous Bill	7.29
Payment 10/09/25	-7.29 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	9 Thousand Gals X \$1.01
	9.09
<b>Total Current Transactions</b>	9.09
<b>TOTAL BALANCE DUE</b>	<b>\$9.09</b>

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Account # 0011000  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 9.09

**Total Balance Due \$9.09**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 GRANITE GLEN LOOP**

Bill Number: 23281136

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](https://bit.ly/pcurates) for details.**

Account #	Customer #
0011010	01228304
Please use the 15-digit number below when making a payment through your bank	
001101001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	12705483	9/9/2025	2752	10/8/2025	2765	29	13

Usage History

Water

October 2025	13
September 2025	38
August 2025	44
July 2025	42
June 2025	40
May 2025	23
April 2025	6
March 2025	7
February 2025	0
January 2025	7
December 2024	8
November 2024	1

Transactions

Previous Bill	30.78
Payment 10/09/25	-30.78 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	13 Thousand Gals X \$1.01 13.13
<b>Total Current Transactions</b>	13.13
<b>TOTAL BALANCE DUE</b>	<b>\$13.13</b>

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Account # 0011010  
Customer # 01228304

Balance Forward 0.00  
Current Transactions 13.13

**Total Balance Due \$13.13**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 STONECREEK WAY**

Bill Number: 23281137

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0011015	01228303
Please use the 15-digit number below when making a payment through your bank	
001101501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	15104614	9/9/2025	450	10/8/2025	450	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	2
February 2025	5
January 2025	6
December 2024	6
November 2024	6

Transactions

**TOTAL BALANCE DUE \$0.00**



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Account # 0011015  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 0.00

<b>Total Balance Due</b>	<b>\$0.00</b>
<b>Due Date</b>	<b>11/10/2025</b>

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS COMM DEV DIST #2

Service Address: **0 WINGED ELM DR**

Bill Number: 23281138

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011020	01060339
Please use the 15-digit number below when making a payment through your bank	
001102001060339	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	14241568	9/9/2025	0	10/8/2025	0	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	0
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	0
November 2024	0

Transactions

Previous Bill	-125.00 CR
<b>Balance Forward</b>	-125.00 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$125.00 CR</b>



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Account #	0011020
Customer #	01060339
Balance Forward	-125.00 CR
Current Transactions	-125.00 CR
<b>Total Balance Due</b>	<b>-\$125.00 CR</b>

SEVEN OAKS COMM DEV DIST #2  
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SEVEN OAKS CDD

Service Address: **0 WATERMARK DR**

Bill Number: 23281139

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011025	01228303
Please use the 15-digit number below when making a payment through your bank	
001102501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	17656793	9/9/2025	9113	10/8/2025	9186	29	73

Usage History

Water

October 2025	73
September 2025	63
August 2025	63
July 2025	61
June 2025	54
May 2025	76
April 2025	33
March 2025	11
February 2025	14
January 2025	10
December 2024	17
November 2024	16

Transactions

Previous Bill	51.03
Payment 10/09/25	-51.03 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	73 Thousand Gals X \$1.01
	73.73
<b>Total Current Transactions</b>	73.73
<b>TOTAL BALANCE DUE</b>	<b>\$73.73</b>

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Account # 0011025  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 73.73

**Total Balance Due \$73.73**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
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SEVEN OAKS CDD

Service Address: **0 WATERMARK DR**

Bill Number: 23281140

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0011030	01228304
Please use the 15-digit number below when making a payment through your bank	
001103001228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	09558342	9/9/2025	1681	10/8/2025	1682	29	1

Usage History

Water

October 2025	1
September 2025	0
August 2025	0
July 2025	0
June 2025	1
May 2025	0
April 2025	0
March 2025	0
February 2025	0
January 2025	0
December 2024	1
November 2024	1

Transactions

Current Transactions

Reclaimed

Reclaimed

1 Thousand Gals X \$1.01

1.01

**Total Current Transactions**

1.01

**TOTAL BALANCE DUE**

**\$1.01**



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Account # 0011030

Customer # 01228304

Balance Forward 0.00

Current Transactions 1.01

**Total Balance Due \$1.01**

**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 INDIGO POND CT**

Bill Number: 23281141

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011035	01228304
Please use the 15-digit number below when making a payment through your bank	
001103501228304	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	201377801	9/9/2025	101	10/8/2025	103	29	2

Usage History

Water

October 2025	2
September 2025	2
August 2025	2
July 2025	1
June 2025	2
May 2025	2
April 2025	1
March 2025	2
February 2025	2
January 2025	2
December 2024	2
November 2024	2

Transactions

Previous Bill	1.62
Payment 10/09/25	-1.62 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	2 Thousand Gals X \$1.01
	2.02
<b>Total Current Transactions</b>	2.02
<b>TOTAL BALANCE DUE</b>	<b>\$2.02</b>

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Account # 0011035  
Customer # 01228304  
Balance Forward 0.00  
Current Transactions 2.02

**Total Balance Due \$2.02**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **3964 WINDCREST DR**

Bill Number: 23281142

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011070	01228305
Please use the 15-digit number below when making a payment through your bank	
001107001228305	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08399017	9/9/2025	144	10/8/2025	144	29	0

Usage History

Water

October 2025	0
September 2025	10
August 2025	11
July 2025	9
June 2025	11
May 2025	26
April 2025	12
March 2025	12
February 2025	19
January 2025	16
December 2024	13
November 2024	1

Transactions

Previous Bill	-0.15 CR
<b>Balance Forward</b>	-0.15 CR
<b>TOTAL BALANCE DUE</b>	<b>-\$0.15 CR</b>



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Account #	0011070
Customer #	01228305
Balance Forward	-0.15 CR
Current Transactions	-0.15 CR

**Total Balance Due** **-\$0.15 CR**

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SEVEN OAKS CDD

Service Address: **4261 WINDCREST DR**

Bill Number: 23281143

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0011075	01228305
Please use the 15-digit number below when making a payment through your bank	
001107501228305	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	08404831	9/9/2025	2125	10/8/2025	2127	29	2

Usage History

Water

October 2025	2
September 2025	2
August 2025	42
July 2025	40
June 2025	36
May 2025	22
April 2025	12
March 2025	35
February 2025	32
January 2025	33
December 2024	39
November 2024	25

Transactions

Previous Bill	1.62
Payment 10/09/25	-1.62 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	2 Thousand Gals X \$1.01
2.02	
<b>Total Current Transactions</b>	2.02
<b>TOTAL BALANCE DUE</b>	<b>\$2.02</b>

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Account # 0011075  
Customer # 01228305  
Balance Forward 0.00  
Current Transactions 2.02

**Total Balance Due \$2.02**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 ANCIENT OAKS & SR 56**

Bill Number: 23282823

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0469715	01228302
Please use the 15-digit number below when making a payment through your bank	
046971501228302	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Irrig Potable	08741652	9/9/2025	489	10/8/2025	501	29	12

Usage History		
	Water	Irrigation
October 2025		12
September 2025		12
August 2025		7
July 2025		5
June 2025		8
May 2025		5
April 2025		5
March 2025		8
February 2025		2
January 2025		3
December 2024		3
November 2024		3

Transactions		
Previous Bill		57.38
Payment 10/09/25		-57.38 CR
<b>Balance Forward</b>		0.00
Current Transactions		
Irrigation		
Water Base Charge		11.00
Water Tier 1	10.0 Thousand Gals X \$3.47	34.70
Water Tier 2	2.0 Thousand Gals X \$6.94	13.88
<b>Total Current Transactions</b>		59.58
<b>TOTAL BALANCE DUE</b>		<b>\$59.58</b>



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Account # 0469715  
Customer # 01228302  
Balance Forward 0.00  
Current Transactions 59.58

**Total Balance Due \$59.58**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **0 ANCIENT OAKS & SR 56**

Bill Number: 23282824

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0469720	01228302
Please use the 15-digit number below when making a payment through your bank	
046972001228302	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Irrig Potable	08741650	9/9/2025	1144	10/2/2025	1146	23	2
Irrig Potable	08741650	10/2/2025	0	10/8/2025	0	6	0

Usage History

	Water	Irrigation
October 2025		0
October 2025		2
September 2025		0
August 2025		2
July 2025		0
June 2025		3
May 2025		3
April 2025		3
March 2025		16
February 2025		13
January 2025		8
December 2024		6

Transactions

Previous Bill	10.60
Payment 10/09/25	-10.60 CR
<b>Balance Forward</b>	<b>0.00</b>
Current Transactions	
Irrigation	
Water Base Charge	11.00
Water Tier 1 2.0 Thousand Gals X \$3.47	6.94
<b>Total Current Transactions</b>	<b>17.94</b>
<b>TOTAL BALANCE DUE</b>	<b>\$17.94</b>

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Account # 0469720  
Customer # 01228302

Balance Forward 0.00  
Current Transactions 17.94

**Total Balance Due \$17.94**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **2910 SPORTS CORE CIRCLE**

Bill Number: 23282827

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0469735	01228303
Please use the 15-digit number below when making a payment through your bank	
046973501228303	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Water	12272488	9/9/2025	25755	10/8/2025	25882	29	127

Usage History

	Water
October 2025	127
September 2025	137
August 2025	149
July 2025	132
June 2025	194
May 2025	212
April 2025	162
March 2025	117
February 2025	130
January 2025	106
December 2024	166
November 2024	142

Transactions

Previous Bill	1,952.78
Payment 10/09/25	-1,952.78 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Water	
Water Base Charge	41.29
Water Tier 1 25.0 Thousand Gals X \$2.18	54.50
Water Tier 2 25.0 Thousand Gals X \$3.47	86.75
Water Tier 3 25.0 Thousand Gals X \$6.94	173.50
Water Tier 4 52.0 Thousand Gals X \$9.36	486.72
Sewer	
Sewer Base Charge	103.45
Sewer Charges 127.0 Thousand Gals X \$7.20	914.40
<b>Total Current Transactions</b>	1,860.61
<b>TOTAL BALANCE DUE</b>	<b>\$1,860.61</b>



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Account # 0469735  
Customer # 01228303  
Balance Forward 0.00  
Current Transactions 1,860.61

**Total Balance Due \$1,860.61**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

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SEVEN OAKS CDD

Service Address: **VERMILLION SKY NORTH RECLAIM DR**

Bill Number: 23283751

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0989675	01369272
Please use the 15-digit number below when making a payment through your bank	
098967501369272	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	17580272	9/9/2025	738	10/8/2025	738	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	2
May 2025	3
April 2025	4
March 2025	4
February 2025	6
January 2025	5
December 2024	5
November 2024	11

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0989675  
Customer # 01369272

Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

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Round-Up Donations to Charity

Amount Enclosed


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SEVEN OAKS CDD

Service Address: **VERMILLION SKY SOUTH RECLAIM DR**

Bill Number: 23283752

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.

Account #	Customer #
0989680	01369272
Please use the 15-digit number below when making a payment through your bank	
098968001369272	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	18044940	9/9/2025	1233	10/8/2025	1233	29	0

Usage History

Water

October 2025	0
September 2025	0
August 2025	0
July 2025	0
June 2025	1
May 2025	3
April 2025	4
March 2025	4
February 2025	6
January 2025	4
December 2024	5
November 2024	12

Transactions

0.00  
**TOTAL BALANCE DUE \$0.00**



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Account # 0989680  
Customer # 01369272  
Balance Forward 0.00  
Current Transactions 0.00

**Total Balance Due \$0.00**  
**Due Date 11/10/2025**

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3434 COLWELL AVENUE SUITE 200  
Tampa FL 33614

Round-Up Donations to Charity

Amount Enclosed


☐ Check this box to participate in Round-Up.

PASCO COUNTY UTILITIES  
CUSTOMER INFORMATION & SERVICES  
P.O. BOX 2139  
NEW PORT RICHEY, FL 34656-2139



PASCO COUNTY UTILITIES  
CUSTOMER INFORMATION & SERVICES  
P.O. BOX 2139  
NEW PORT RICHEY, FL 34656-2139

LAND O' LAKES (813) 235-6012  
NEW PORT RICHEY (727) 847-8131  
DADE CITY (352) 521-4285

[UtilCustServ@MyPasco.net](mailto:UtilCustServ@MyPasco.net)  
Pay By Phone: 1-855-786-5344

1 0 1  
37-93237

SEVEN OAKS CDD

Service Address: **AUTUMN BREEZE RECLAIM CIRCLE**

Bill Number: 23283753

Billing Date: 10/22/2025

Billing Period: 9/9/2025 to 10/8/2025

**New Water, Sewer, Reclaim rates, fees, and charges took effect Oct. 1, 2025.**  
**Please visit [bit.ly/pcurates](http://bit.ly/pcurates) for details.**

Account #	Customer #
0989690	01369272
Please use the 15-digit number below when making a payment through your bank	
098969001369272	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Reclaim	18044941	9/9/2025	1019	10/8/2025	1038	29	19

Usage History

Water

October 2025	19
September 2025	20
August 2025	19
July 2025	19
June 2025	18
May 2025	10
April 2025	3
March 2025	8
February 2025	7
January 2025	7
December 2024	5
November 2024	3

Transactions

Previous Bill	16.20
Payment 10/09/25	-16.20 CR
<b>Balance Forward</b>	0.00
Current Transactions	
Reclaimed	
Reclaimed	19 Thousand Gals X \$1.01 19.19
<b>Total Current Transactions</b>	19.19
<b>TOTAL BALANCE DUE</b>	<b>\$19.19</b>

Please return this portion with payment

TO PAY ONLINE, VISIT [pascoeasypay.pascocountyfl.net](http://pascoeasypay.pascocountyfl.net)

☐ Check this box if entering change of mailing address on back.

Account # 0989690  
Customer # 01369272  
Balance Forward 0.00  
Current Transactions 19.19

**Total Balance Due \$19.19**  
**Due Date 11/10/2025**

10% late fee will be applied if paid after due date

**The Total Due will be electronically  
transferred on 11/10/2025.**

SEVEN OAKS CDD  
3434 COLWELL AVENUE SUITE 200  
Tampa FL 33614

PASCO COUNTY UTILITIES  
CUSTOMER INFORMATION & SERVICES  
P.O. BOX 2139  
NEW PORT RICHEY, FL 34656-2139







Pasco Sheriff's Office  
 ATTN: Extra Duty  
 7432 Little Road  
 New Port Richey, FL 34654

**Invoice:** I-202510-12112  
**Service Total:** \$1280.00  
**Payments Total:**  
**Amount Due:** \$1280.00  
**Sent Date:** 11/3/2025  
**Payment Terms:** Due upon receipt

SEVEN OAKS CDD  
 2910 SPORTS CORE CIRCLE  
 WESLEY CHAPEL, FL 33544

Service Date	Employee	Job Name	Start Time	Hrs Wrkd	Billed Rate	Emp Fees
✓ 10/10/2025	LINSALATA, JAMES - 3542	SECURITY/PATROL COMMUNITY	8:00 PM	4.00	\$60.00	\$240.00
✓ 10/11/2025	COLE, KYRA - 6844	Security/Clubhouse @ Seven Oaks CDD	2:00 PM	4.00	\$65.00	\$260.00
✓ 10/11/2025	GARCIA, JAIME - 6113	Security/Clubhouse @ Seven Oaks CDD	2:00 PM	4.00	\$65.00	\$260.00
✓ 10/15/2025	Not Filled	SECURITY/PATROL COMMUNITY		0.00	\$0.00	\$0.00
✓ 10/18/2025	Not Filled	SECURITY/PATROL COMMUNITY		0.00	\$0.00	\$0.00
✓ 10/19/2025	Not Filled	SECURITY/PATROL COMMUNITY		0.00	\$0.00	\$0.00
✓ 10/24/2025	VITO, COURTNEY - 7420	Security/Clubhouse @ Seven Oaks CDD	6:30 PM	4.00	\$65.00	\$260.00
✓ 10/24/2025	HYATT, JARED - 7573	Security/Clubhouse @ Seven Oaks CDD	6:30 PM	4.00	\$65.00	\$260.00
✓ 10/31/2025	Not Filled	SECURITY/PATROL COMMUNITY		0.00	\$0.00	\$0.00
<b>Total:</b>						<b>\$1280.00</b>

**Questions regarding Invoice Charges & Payments please contact:**

**Contact:** Pasco Sheriff's Office  
**Telephone:** 727-844-7795  
**Email:** ExtraDuty@pascosheriff.org

**Make Checks Payable To:**  
 Pasco Sheriff's Office

**Invoice #:** I-202510-12112  
**Invoice Total:** \$1280.00

**Invoice For:** SEVEN OAKS CDD

**Mail Checks To:**

Pasco Sheriff's Office

ATTN: Extra Duty Program

7432 Little Road New Port Richey, Florida 34654

Payment Terms: Due upon receipt

Please include Invoice # in check comment

**How To Pay Online**

Customers who wish to make payments to the Pasco Sheriff's Extra Duty Office may do so on the AllPaid Payment Platform. Cardholders can now make payments with Visa®, MasterCard®, American Express® and Discover® (service charges apply). To make an online payment via the AllPaid platform, please visit <https://allpaid.com/plc/a005v9>.

**Late Payments**

Unpaid invoices over 30 days from the date of invoice are considered late payments and may be subject to legal action, including collections. Extra Duty Employers are responsible for the cost of attorney's fees, court fees and/or collection's fees as a result of any legal action. In addition, a late fee penalty may be implemented at the rate of 2% of the total invoice added per day.

Theresa D. Maggio

52100 - 3401

P H Bell and Clock, LLC.  
842 Chatham Walk Drive  
Ruskin, FL 33570  
+19545595378  
phbellman@aol.com



Invoice

**BILL TO**

Seven Oaks CDD  
5844 Old Pasco Road  
Suite 100  
Wesley Chapel, FL 33544

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
2025014	10/29/2025	\$397.50	11/28/2025	Net / 30	

DISCRIPTION	ITEM	QTY	RATE	AMOUNT
On 10-28-2025 Did Clean and Re-Oil 2 Canister Clock Movements, Check Programing, Test Carillon, Clock Movements and Lights. One visit maintenance call \$397.50	1 Visit PMA	1	397.50	397.50

Send Payments to:  
P H Bell and Clock, LLC.  
842 Chatham Walk Drive  
Ruskin, Fl. 33570  
954-559-5378  
954-923-8342 Fax

BALANCE DUE

\$397.50

Pay invoice

**APPROVED**  
John G. 10/30/25  
Code: 4695



# P. H. Bell & Clock, LLC.

842 Chatham Walk Drive, Ruskin, FL. 33570  
954-559-5378 Cell - 954-923-8342 Fax Email phbellman@aol.com

## Service Report

Service Order Number \_\_\_\_\_  
Call Complete ☒ Call Incomplete ☐

Customer Data		Call Data	
Customer Name	Seven Oaks Clock Tower	PID	FLUE 014
Contact Name	John Gentilella	Service Technician	Taylor
Phone	813.230.7987	Arrival Time	11:45
Address	Ancient Oaks & Summer Gate	Departure Time	12:45
City/State/Zip	Wesley Chapel, FL 33544	Date	10/28/25
		Email Address	
		Install	<input type="checkbox"/>
		Service Call	<input type="checkbox"/>
		PMA	<input checked="" type="checkbox"/>
		Survey	<input type="checkbox"/>

Service Performed			
<b>Bells</b>	<b>Carillon</b>	<b>Clocks</b>	<b>Office Action</b>
<input type="checkbox"/> Performed Complete Bell PM	<input type="checkbox"/> Performed Complete Carillon PM	<input type="checkbox"/> Performed Complete Clock PM	<input type="checkbox"/> Mfg
<input type="checkbox"/> Inspected Bells / Mounting	<input checked="" type="checkbox"/> Inspected Speakers and Drivers	<input checked="" type="checkbox"/> Lubricated Timepiece(s)	<input type="checkbox"/> Sales
<input type="checkbox"/> Tested Auto / Manual Functions	<input checked="" type="checkbox"/> Tested Auto / Manual Functions	<input checked="" type="checkbox"/> Inspected Gears and Pawls	<input type="checkbox"/> Service
<input type="checkbox"/> Lubricated Clapper / Bearing	<input checked="" type="checkbox"/> Tested Backup Batteries	<input checked="" type="checkbox"/> Synchronized Clock(s)	<input type="checkbox"/> Tech Support
<input type="checkbox"/> Tested Resistance on Coil(s)	<input checked="" type="checkbox"/> Checked All Programming	<input checked="" type="checkbox"/> Tested Fast Run Mode	See notes below for
<input type="checkbox"/> Tested Backup Batteries	<input type="checkbox"/>	<input checked="" type="checkbox"/> Tested Reg Action Run Mode	actions required

**Notes** Set controller to correct time - about 3 min off. Synced both clock dials - about one min off from each other. Inspected + lubricated clock gears. Tested back lights via photo cell. Changed 3 bulbs - T12 24". No more bulbs stocked in tower. Recommend LED upgrade, or re-stock bulbs next visit. If LED upgrade - very difficult to see/access wiring for existing fixtures. LED modules would be best that could be mounted around the perimeter of the conister. Clocks + controller are on time + operating efficiently.

Part Number	Description	Price	Qty	Amount
		\$		\$
		\$		\$
		\$		\$
		\$		\$
		\$		\$

Service Rates		Rate	Amount
Trip charge (includes First Hour of Labor)	Emailed report to John	@ \$	\$
Additional Hours		@ \$	\$
Equipment Condition	Device(s)	Device(s)	Subtotal Labor
	Good Fair Poor Broken	Good Fair Poor Broken	\$
Head bolts	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Subtotal Parts
Clapper & Springs	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$
"A" Stands & Bearings	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Other Charges
Striker / Solenoid	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$
Timepiece / Hands	<input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Estimated Charge
Speakers / Amp / Drivers	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$

**Customer Invoice to Follow**

Customer Signature ☒ \_\_\_\_\_ Date \_\_\_\_\_

**WE APPRECIATE OUR RELATIONSHIP - THANK YOU FOR YOUR BUSINESS**





# Invoice

Date	Invoice #
10/31/2025	b-2863

mail payment to:

Precision Sidewalk Safety Corp.  
1202 SW 17th St  
Suite #201-122  
Ocala, Florida 34471

Federal ID#: 20-5234927  
Phone: 352-804-2464

Seven Oaks CDD  
John Gentilella  
3434 Colwell Ave, Suite 200  
Tampa, FL 33614

P.O. No.

Terms

signed authorization

due on receipt

Description	Amount
Using customer repair specification of 2/8 to 2 inches and a 1:12 repair slope, identify, measure, mark, remove, and clean up 442 trip hazards per included project summary.  Precision Sidewalk Safety estimates <<<< YOU SAVED \$193,841 - or \$17.17 /square foot - or 85.85% >>>> vs. replacement determined by the 11,295 square feet of concrete that did NOT have to be replaced multiplied by your estimated cost of concrete replacement, minus this invoice amount.  <div><b>APPROVED</b> John G. 11/18/25 Code: 4621</div>	31,959.00
Total	\$31,959.00

*Thank you for your business! Our repairs do not address or remedy the underlying cause for shifting concrete. Payment of this invoice confirms your acceptance of our work.*

Professional Green Cleaners  
2041 Brigadier Dr  
Spring Hill, FL 34608  
( 813) 862-9595

Invoice

30050

Customer

DATE

PAGE

849

11/10/2025

1

**SOLD TO:**

Seven Oaks Cdd  
3434 Colwell Ave #200  
Tampa, FL 33614

**SHIP TO:**

PO NO.

TERMS

SALESPERSON

SHIP VIA

SHIP DATE

FOB

Net 30 days

11/10/2025

ITEM

QUANTITY

UNIT

DESCRIPTION

TX

UNIT PRICE

AMOUNT

1.00

Restorative floor work done at the Gathering  
Room done on November 10 2025

\$725.00

\$725.00

Theresa DiMaggio  
57200-4704

**COMMENTS**

Thank you for your business!

Subtotal

\$725.00

Freight

\$0.00

Tax

\$0.00

Total Amount

\$725.00

Amount Received

\$0.00

Balance Due

\$725.00

Rizzetta & Company, Inc.  
3434 Colwell Avenue  
Suite 200  
Tampa FL 33614

Invoice

Date	Invoice #
11/2/2025	INV0000104548

Bill To:

SEVEN OAKS CDD  
3434 Colwell Avenue, Suite 200  
Tampa FL 33614

Services for the month of	Terms	Client Number
November	Upon Receipt	00730

Description	Qty	Rate	Amount
Accounting Services	1.00	\$2,375.00	\$2,375.00
Administrative Services	1.00	\$808.33	\$808.33
Dissemination Services	1.00	\$166.67	\$166.67
Email Accounts, Admin & Maintenance	9.00	\$20.00	\$180.00
Financial & Revenue Collections	1.00	\$437.50	\$437.50
Management Services	1.00	\$3,668.75	\$3,668.75
		Subtotal	\$7,636.25
		Total	\$7,636.25

## INVOICE

**MAKE CHECK PAYABLE TO:**

Storage Center in Wesley Chapel  
1891 Trout Creek Road  
Wesley Chapel, FL 33544

Unit(s) 1112  
Tenant 199081  
Invoice 28859  
Invoice Date November 7, 2025  
Due Date December 7, 2025

Amount Due **\$272.00**

c/o: THERESA DiMaggio  
Seven oaks cdd  
3434 Colwell Ave Suit 200  
Tampa, FL 33614

☐ Please check box if address is incorrect  
and indicate change. Signature is required  
to authorize address changes.

Signature \_\_\_\_\_

AMOUNT ENCLOSED \$ \_\_\_\_\_

-----  
**DETACH AND RETURN TOP PORTION WITH YOUR PAYMENT**

UNIT	DATE	ITEM/SERVICE	AMOUNT	TAX	DUE
1112	12/7/2025	Rent 12/7-1/6	272.00	0.00	272.00
			Subtotal	\$	272.00
			Taxes	\$	0.00
			Balance Due	\$	272.00

Please remit the total due amount of **\$272.00** to the above address.

**PAY ONLINE AT [www.storagecenterinwesleychapel.com](http://www.storagecenterinwesleychapel.com)**

**REFER A FRIEND AND RECEIVE \$25 OFF  
YOUR NEXT MONTH'S RENT**

**IMPORTANT NOTICE**

Future correspondence including lien notices may be sent via electronic mail. By providing your email address you are consenting to these terms and conditions.

In compliance to changes in the Florida Self Storage Act we will be modifying our late fees as follows:

Late Fee 1 10% of Unit Rent Amount if rent is not paid within 5 days after rent is due

Late Fee 2 An Additional 10% of Unit Rent Amount if rent is not paid within 15 days after rent is due

Pre-Lien Notice \$20.00 Additional Fee if rent is not paid within 25 days after rent is due

*Theresa DiMaggio*

**5700-4753**





SEVEN OAKS CDD I  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33607

RECEIVED  
NOV 24 2025

Statement Date: November 19, 2025

Amount Due: \$43.07

Due Date: December 10, 2025

Account #: 211003718858

BY: .....

## Account Summary

Current Service Period: October 17, 2025 - November 18, 2025

Previous Amount Due \$43.07

Payment(s) Received Since Last Statement -\$43.07

Current Month's Charges \$43.07

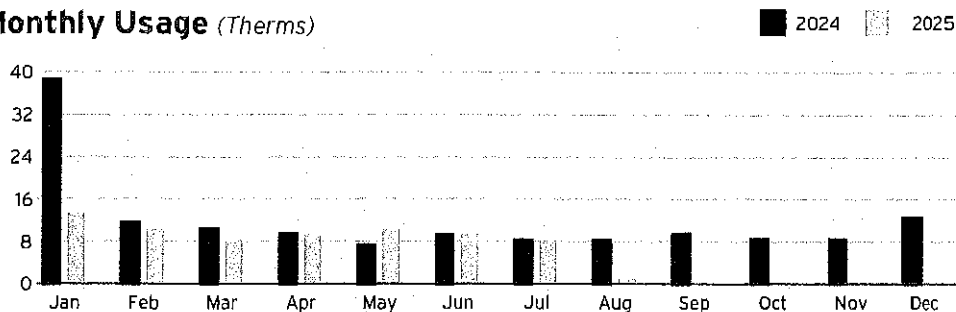
**Amount Due by December 10, 2025 \$43.07**

Amount not paid by due date may be assessed a late payment charge and an additional deposit.



Scan here to view  
your account online.

## Monthly Usage (Therms)



**Sometimes being safe stinks**

If you smell rotten eggs, a gas leak or damaged pipeline could be nearby. Call to a safe location, call 911 then call us at 877-832-6743.

We're here 24/7 to answer your call about natural gas emergencies. Please don't wait.

Learn about your newly redesigned bill and get deeper insights about your usage by visiting [TECOaccount.com](https://TECOaccount.com)



To ensure prompt credit, please return stub portion of this bill with your payment.

Account #: 211003718858

Due Date: December 10, 2025



**Pay your bill online at [PeoplesGas.com](https://PeoplesGas.com)**

See reverse side of your paystub for more ways to pay.

Go Paperless, Go Green! Visit [PeoplesGas.com/Paperless](https://PeoplesGas.com/Paperless) to enroll now.

Amount Due: \$43.07

Payment Amount: \$ \_\_\_\_\_

611878414095

00000337 FTECO111192523125110 00000 03 01100000 14062 002

SEVEN OAKS CDD I  
3434 COLWELL AVE, STE 200  
TAMPA, FL 33614-8390

Mail payment to:  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318

Make check payable to: TECO  
Please write your account number on the memo line of your check.

6118784140952110037188580000000043078



**Service For:**  
2910 SPORTS CORE CIR  
WESLEY CHAPEL, FL 33544-8764

Account #: 211003710000  
Statement Date: November 19, 2025  
Charge Due: December 10, 2025

## Meter Read

**Service Period:** Oct 17, 2025 - Nov 18, 2025

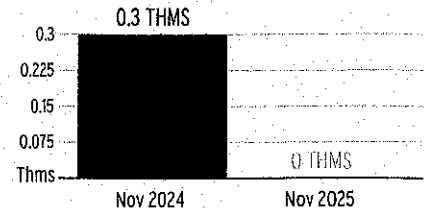
**Rate Schedule:** Small General Service (SGS)

Meter Number	Read Date	Current Reading	Previous Reading	= Measured Volume	x BTU	x Conversion	= Total Used	Billing Period
AH163698	11/18/2025	2,277	2,277	0 CCF	1,040	1.0000	0.0 Therms	33 Days

## Charge Details

	<b>Natural Gas Charges</b>	
	Customer Charge	\$43.07
	<b>Natural Gas Service Cost</b>	<b>\$43.07</b>
<b>Total Current Month's Charges</b>		<b>\$43.07</b>

## Avg THMS Used Per Day



## Important Messages

For more information about your bill and understanding your charges, please visit [PeoplesGas.com](https://PeoplesGas.com)

## Ways To Pay Your Bill



**Bank Draft**  
Visit [PeoplesGas.com](https://PeoplesGas.com) for free recurring or one time payments via checking or savings account.



**In-Person**  
Find list of Payment Agents at [PeoplesGas.com](https://PeoplesGas.com)



**Mail A Check**  
**Payments:**  
TECO  
P.O. Box 31318  
Tampa, FL 33631-3318  
Mail your payment in the enclosed envelope.



**Credit or Debit Card**  
Pay by credit Card using KUBRA EZ-Pay at [PeoplesGas.com](https://PeoplesGas.com). Convenience fee will be charged.



**Phone**  
Toll Free:  
**866-689-6469**

**All Other Correspondences:**  
Peoples Gas  
P.O. Box 111  
Tampa, FL 33601-0111

## Contact Us

### Residential Customer Care:

813-223-0800 (Tampa)  
863-299-0800 (Lakeland)  
352-622-0111 (Ocala)  
954-453-0777 (Broward)  
305-940-0139 (Miami)  
727-826-3333 (St. Petersburg)  
407-425-4662 (Orlando)  
904-739-1211 (Jacksonville)  
877-832-6747 (All Other Counties)

### Online:

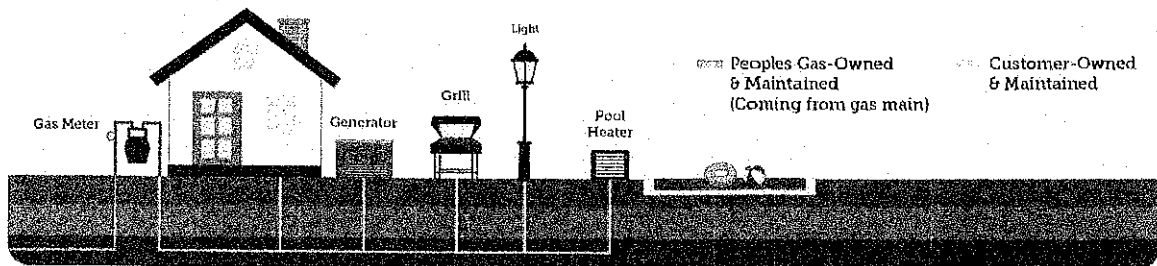
[PeoplesGas.com](https://PeoplesGas.com)

### Phone:

**Commercial Customer Care:**  
866-832-6249  
**Hearing Impaired/TTY:**  
7-1-1  
**Natural Gas Outage:**  
877-832-6747  
**Natural Gas Energy Conservation Rebates:**  
877-832-6747

**Please Note:** If you choose to pay your bill at a location not listed on our website or provided by Peoples Gas, you are paying someone who is not authorized to act as a payment agent at Peoples Gas. You bear the risk that this unauthorized party will relay the payment to Peoples Gas and do so in a timely fashion. Peoples Gas is not responsible for payments made to unauthorized agents, including their failure to deliver or timely deliver the payment to us. Such failures may result in late payment charges to your account or service disconnection.

## Let's work together to keep our system safe.



Everyone at Peoples Gas makes safety a No. 1 priority. We work hard every day to ensure our system is operating properly to safely deliver natural gas to your home or business. Did you know that while most of the system is owned and maintained by us, there are a few lines and piping on your property that you are responsible for?

We handle all the pipelines that bring natural gas down your street, into your property and into your meter. Any piping that leads from your meter to your appliances or other points of use are yours. Sometimes these pipes are above ground and sometimes they are buried. This helpful illustration shows which lines we maintain and which ones are your responsibility.

If you have any questions about your natural gas service, call 877-TECO-PGS (877-832-6747) or visit [PeoplesGas.com/YourNaturalGasService](http://PeoplesGas.com/YourNaturalGasService) to learn more.

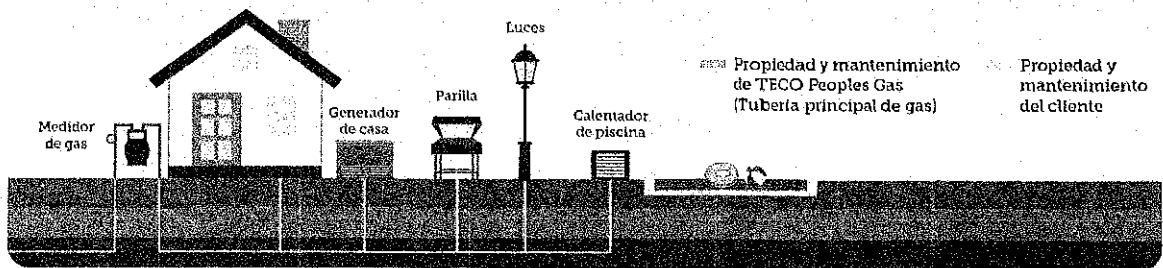
We regularly inspect our pipelines, meters and other equipment. If we happen to see an issue with your natural gas pipes and equipment, we'll let you know, but it's a good idea to have your gas pipes inspected periodically as well. You may not realize that your pipes may be deteriorating, especially if they are buried underground.

A licensed plumbing or heating contractor can perform an inspection and any necessary repairs.

For a list of service providers in your area, visit [PeoplesGas.com/FindContractor](http://PeoplesGas.com/FindContractor).



## Trabajemos juntos para mantener seguro nuestro sistema



Todos en Peoples Gas entendemos que la seguridad es nuestra prioridad número uno. Trabajamos arduamente todos los días con el fin de garantizar que nuestro sistema funcione correctamente para entregar gas natural a su hogares o negocios de manera segura. ¿Sabías que, aunque la mayor parte del sistema es de nuestra propiedad y lo mantenemos, usted es responsable de algunas líneas y tuberías en su propiedad?

Manejamos todas las líneas que llevan el gas natural a su calle, en su propiedad ya su medidor. Cualquier tubería que conduzca desde su medidor a sus electrodomésticos u otros puntos de su propiedad es su responsabilidad.

En ocasiones, estas líneas de gas están por encima del suelo, y en otras, están enterradas. Esta útil ilustración muestra qué líneas de gas mantenemos y cuáles son su responsabilidad.

Inspeccionamos regularmente nuestras líneas de gas, medidores y otros equipos. Si vemos un problema con sus líneas de gas y equipos de gas natural, se lo haremos saber; sin embargo, también es buena idea que se inspeccionen sus líneas de gas periódicamente. Es posible que no se dé cuenta de que sus líneas de gas pueden deteriorarse, especialmente si están bajo tierra.

Un contratista autorizado de plomería o calefacción puede efectuar una inspección y las reparaciones necesarias. Para obtener una lista de los proveedores de servicios en su área, visite [PeoplesGas.com/FindContractor](http://PeoplesGas.com/FindContractor)

Estamos aquí para usted. Si tiene alguna pregunta sobre su servicio de gas natural, llámenos al 877-TECO-PGS (877-832-6747). Le agradecemos la oportunidad de servirle. Visite [PeoplesGas.com/YourNaturalGasService](http://PeoplesGas.com/YourNaturalGasService) para más información.





NOV - 7 2025

00

## ACCOUNT SUMMARY

Credit Limit \$26,000.00  
Credit Available \$21,598.00  
Statement Closing Date October 31, 2025  
Days in Billing Cycle 31  
Previous Balance \$4,567.44  
Payments & Credits \$4,594.90  
Purchases & Other Charges \$4,148.74  
Balance Transfer \$0.00  
FEES CHARGED \$0.00  
INTEREST CHARGED \$0.00  
New Balance \$4,121.28

Questions? Call Customer Service  
Toll Free - 1-844-626-6581  
International Collect - 1-301-665-4442  
TTY 1-301-665-4443

## PAYMENT INFORMATION

New Balance \$4,121.28  
Minimum Payment Due \$4,121.28  
Payment Due Date November 25, 2025

Notice: SEE REVERSE SIDE FOR MORE IMPORTANT INFORMATION

## TRANSACTIONS

Tran Date	Post Date	Reference Number	Transaction Description	Amount
			<b>TOTAL</b>	<b>\$4,567.44-</b>
10/27	10/27	F1515009C00CHGDDA	AUTOMATIC PAYMENT - THANK YOU	4,567.44-
		MICHELLE WHITE	<b>TOTAL</b>	<b>\$0.00</b>
		JOHN GENTILELLA	<b>TOTAL</b>	<b>\$2,344.36</b>
09/30	10/01	05436848JBLK1MEAM	SAMS CLUB #4852 WESLEY CHAPEL FL	84.89
			MCC: 5542 MERCHANT ZIP: 33544	
10/03	10/03	55432868L5S8KK3B3	IN *PARATEC DOOR SOLUT 727-2378663 FL	272.00
			MCC: 1520 MERCHANT ZIP:	
10/03	10/03	82305098LEHNE9FGR	BENQ AMERICA CORP. COSTA MESA CA	749.00
			MCC: 5732 MERCHANT ZIP:	
10/04	10/04	52707158N09G15HQX	THE HOME DEPOT #6311 TAMPA FL	21.64
			MCC: 5200 MERCHANT ZIP: 33647000	
10/06	10/06	55432868P5V839QH0	AMAZON MKTPL*NV3N961T2 AMZN.COM/BILL WA	173.79
			MCC: 5942 MERCHANT ZIP:	

Transactions continued on next page

1080 0001 TVH 001 7 31 251031 0 PAGE 1 of 4 10 1515 0000 BASE 731

Please detach bottom portion and submit with payment using enclosed envelope



Valley Bank  
Commercial Services  
180 Fountain Parkway N  
St Petersburg FL 33716

## PAYMENT INFORMATION

Account Number:  
Payment Due Date November 25, 2025  
New Balance \$4,121.28  
Minimum Payment Due \$4,121.28  
Past Due Amount \$0.00

Make Check  
Payable to:

Amount Enclosed:

\$

00

SEVEN OAKS COMMUNITY DEVELOPMENT D  
3434 COLWELL AVE SUITE 200  
TAMPA FL 33614

731



Valley Bank  
PLEASE DO NOT MAIL CHECKS  
St Petersburg FL 33716



00412128004121282



## INFORMATION ABOUT YOUR VALLEY ONECARD ACCOUNT

As used below, *you* and *your* refer to the accountholder (i.e., the corporate customer) and *we*, *our* and *us* refer to Valley National Bank. Your Valley OneCard is issued and credit is extended by Valley National Bank.

### MAKING PAYMENTS

You will pay us the total amount shown as due on each Billing Statement on or before the Payment Due Date shown on that Billing Statement. If you do not make payment in full by the payment due date, in addition to our other rights under your Agreement, we may, at our option, assess a late fee and finance charge in accordance with your Agreement. There is no right to defer any payment due on an Account. In addition, you will pay us the amount of all fees and charges according to the schedule of charges currently in effect. All charges are subject to change upon 30 days prior notice, except that any increase in charges to offset any increase in fees charged to us by any supplier for services used in delivering the services covered by your Agreement may become effective in less than 30 days.

Payments will be automatically deducted from the Valley Bank [business checking account] that you have designated. Should payment not be received for any reason, you may incur additional fees and finance charges. All credits for payments to your Account are subject to final payment by the institution on which the item of payment was drawn. Payments on your Account will be applied in the following order: finance charges, fees, your Account balance.

### BALANCE COMPUTATION METHOD

[We calculate the average daily balance on your Account in two categories: (1) Purchases and (2) Cash Advances. To get the "average daily balance" for each category, we take the beginning balance of your Account for that category each day. We then add any new transactions in that category, which may include Fees and Interest. We then subtract any new payments or credits. This gives us the daily balance for each category. We then add up all the daily balances for each category for the billing cycle. We then divide the total by the number of days in the billing cycle. This gives us the Average Daily Balance for Purchases and the Average Daily Balance for Cash Advances.]

### INTEREST

In the event you do not pay your balance(s) in full by the due date, your balance(s) may be subject to an interest rate or interest charges, as further described in your Agreement. Your due date is the 25th of each month. If the 25th falls on a weekend or holiday, your payment will be due the business day before the weekend/holiday. We will not charge you interest if you pay your balance(s) in full by the due date each month.

### CREDIT BALANCE

Any credit balance on your Account] is money we owe you. You can make charges against this amount or request a full refund of the amount by calling us at the Contact Us number on the front of this statement.

### NOTICE TO PAST-DUE CUSTOMERS:

If there is a message on this statement that your account is past due, this is an attempt to collect a debt; any information we obtain will be used for that purpose.

### WHAT TO DO IF YOU THINK YOU FIND A MISTAKE ON YOUR STATEMENT

If you or a Cardholder think there is an error on your statement, call us at (844) 626-6581 international (301) 665-4442. or write to us at: PO Box 2988 Omaha, NE 68103-2988.

You must contact us within 60 days after the error appeared on your statement. Please provide us with the following information:

- *Account information:* Your name and account number.
- *Dollar amount:* The dollar amount of the suspected error.
- *Description of Problem:* Describe what you believe is wrong and why you believe it is a mistake.

While we investigate whether or not there has been an error, the following are true:

- We cannot try to collect the amount in question, or report you as delinquent on that amount.
- The charge in question may remain on your statement, and we may continue to charge you interest on that amount. But, if we determine that we made a mistake, you will not have to pay the amount in question or any interest or other fees related to that amount.
- While you do not have to pay the amount in question, you are responsible for the remainder of your balance.
- We can apply any unpaid amount against your credit limit.

### YOUR RIGHTS IF YOU ARE DISSATISFIED WITH YOUR VALLEY ONECARD PURCHASES

If you are dissatisfied with the goods or services that you have purchased with your Valley OneCard, and you have tried in good faith to correct the problem with the merchant, you may have the right not to pay the remaining amount due on the purchase. To use this right, all of the following must be true:

1. The purchase must have been made in your home state or within 100 miles of your current mailing address, and the purchase price must have been more than \$50.
2. You must have used your Valley OneCard for the purchase. Purchases made with cash advances do not qualify.
3. You must not yet have fully paid for the purchase.

If all of the criteria above are met and you are still dissatisfied with the purchase, contact us *in writing* at PO Box 2988 Omaha, NE 68103-2988 or call us at (844) 626-6581 international (301) 665-444.

While we investigate, the same rules apply to the disputed amount as discussed above. After we finish our investigation, we will tell you our decision. At that point, if we think you owe an amount and you do not pay we may report you as delinquent.

### TELEPHONE MONITORING AND RECORDING.

You acknowledge that telephone calls and other communications you provide to us may be monitored and recorded for training and quality control purposes. You agree that we may, and you authorize us to, monitor, record, retain and reproduce your telephone calls and any other communications you provide to us, regardless of how transmitted to us, as evidence of your authorization to act in connection with any Transaction, your Account or other service contemplated by this Agreement. We will not be liable for any losses or damages that are incurred as a result of these actions. We are not, however, under any obligation to monitor, record, retain or reproduce such items, unless required to do so by Applicable Law.

## TRANSACTIONS (continued)

Tran Date	Post Date	Reference Number	Transaction Description	Amount
10/06	10/06	55310208R8TM9VEJB	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	53.99
10/07	10/07	82305098TEHMQ9EP3	BENQ AMERICA CORP. COSTA MESA CA MCC: 5732 MERCHANT ZIP:	139.00
10/08	10/08	52707158S09FV4DTN	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	36.84
10/09	10/09	55432868S5W8D50HL	AMAZON MKTPL*NF7B87XI1 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	17.57
10/10	10/10	55432868V5WFYTXGT	AMAZON MKTPL*NF77M4IS0 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	20.33
10/10	10/10	55310208W8W67GM5H	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	15.29
10/13	10/13	55310208Z8XZJNSRN	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	19.77
10/13	10/13	55310208Z8XZJNVQ1	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	19.99
10/16	10/16	5543286915YEMAX72	AMAZON MKTPL*NM81W9IQ0 AMZN.COM/BILL WA MCC: 5942 MERCHANT ZIP:	94.99
10/16	10/16	054368492BLJ73QHP	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5542 MERCHANT ZIP: 33544	87.92
10/20	10/20	52707159609FRJ3QZ	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	143.24
10/23	10/23	52707159909FSZQNA	THE HOME DEPOT #6311 TAMPA FL MCC: 5200 MERCHANT ZIP: 33647000	178.71
10/29	10/29	55310209F96Y7M3LH	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	17.03
10/29	10/29	55310209F96Y7M4SF	VISION ACE HARDWARE WESLEY CHAPEL FL MCC: 5251 MERCHANT ZIP: 33544	21.57
10/29	10/29	52707159F09FJ9JDR	HOMEDPOT.COM 800-430-3376 GA MCC: 5200 MERCHANT ZIP: 30339000	19.99
10/30	10/30	55432869F62VF3KBT	STRAIGHTTALK*SERVICES MIAMI FL MCC: 4814 MERCHANT ZIP:	47.60
10/30	10/30	05436849GBLJQQQM0	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5542 MERCHANT ZIP: 33544	80.21
10/30	10/30	11636489G0P92184Q	HUNGRY HARRYS BBQ- LAN LAND O LAKES FL MCC: 5812 MERCHANT ZIP:	29.00
		<b>FATINA TANNOUKHI</b>	<b>TOTAL \$943.27</b>	
09/30	10/01	02305378JEHYPP3G4	OFFICE DEPOT #2603 WESLEY CHAPEL FL MCC: 5943 MERCHANT ZIP: 33543	48.51
10/03	10/03	55483828N0E6MDK29	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	14.72
10/08	10/08	55483828S0EBSBLP6	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	556.14
10/16	10/16	05436849200AAHVAK	DOLLARTREE LUTZ FL MCC: 5331 MERCHANT ZIP: 33559	8.75
10/17	10/17	5548382940ER0P65K	SAMSLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	287.81
10/20	10/20	054368496BLJ79KXY	SAMS CLUB #4852 WESLEY CHAPEL FL MCC: 5300 MERCHANT ZIP: 33544	14.16
10/20	10/20	75418239570PY2A71	NETFLIX.COM LOS GATOS CA MCC: 4899 MERCHANT ZIP:	20.19
10/20	10/20	0230537965SDQAMJE	PUBLIX #006 WESLEY CHAPEL FL	20.45

Transactions continued on next page

**TRANSACTIONS (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
10/28	10/28	55483829E0F3W3RRM	MCC: 5411 MERCHANT ZIP: 33544 SAMSCLUB #4852 WESLEY CHAPEL FL CREDIT MCC: 5300 MERCHANT ZIP: 33544	27.46-
		<b>THERESA DIMAGGIO</b>	<b>TOTAL \$833.65</b>	
10/01	10/01	15276328K00A72060	SUPERSAAS * B AMSTERDAM DR MCC: 5045 MERCHANT ZIP:	18.00
10/11	10/11	75418238W704JE2D3	CCI*CONSTANT-CONTACT WALTHAM MA MCC: 5968 MERCHANT ZIP:	131.00
10/13	10/13	57540248YLPF6965V	VISTAPRINT 8662074955 MA MCC: 2741 MERCHANT ZIP: 02451	104.97
10/18	10/18	0230537942X90ML46	PUBLIX #1142 LAND O LAKES FL MCC: 5411 MERCHANT ZIP: 34638	19.48
10/21	10/21	5548382970EVRPB32	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	47.92
10/21	10/21	555003696F6QY2BDF	WALMART.COM WALMART.COM AR MCC: 5310 MERCHANT ZIP: 72716	9.08
10/21	10/21	15270219600EXGKHT	MICROSOFT-G119948893MSBILL.INFO WA MCC: 5045 MERCHANT ZIP:	8.25
10/23	10/23	5548382990EYQNG8Z	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	73.64
10/24	10/24	15276329A00AEEGH9	SUPERSAAS * C AMSTERDAM DR MCC: 5045 MERCHANT ZIP:	28.00
10/24	10/24	15270219901ATAV6R	GOOGLE YOUTUBE TV MOUNTAIN VIEW CA MCC: 4899 MERCHANT ZIP:	56.71
10/27	10/27	55483829D0F369XRK	SAMSCLUB.COM 888-746-7726 AR MCC: 5300 MERCHANT ZIP: 72712	228.52
10/27	10/27	55436879Q513YNRQF	HOLLOWAYS FARM SUPPLY LAND O LAKES FL MCC: 5995 MERCHANT ZIP: 34639	59.94
10/29	10/29	05436849F5SA77ZVJ	WALMART.COM 8009256278 BENTONVILLE AR MCC: 5310 MERCHANT ZIP:	48.14

**IMPORTANT ACCOUNT INFORMATION**

\$0 - \$4,121.28 WILL BE DEDUCTED FROM YOUR ACCOUNT AND  
CREDITED AS YOUR AUTOMATIC PAYMENT ON 11/25/25. THE  
AUTOMATIC PAYMENT AMOUNT WILL BE REDUCED BY ALL PAYMENTS  
POSTED ON OR BEFORE THIS DATE.

**REWARDS SUMMARY**

Previous Cashback Balance	\$60.70	THE MORE YOU SPEND, THE MORE YOU EARN
Cashback Earned this Statement	\$10.30	\$0-\$500,000 = 0.25%
New Cashback Balance	\$71.00	\$500,001-\$1,500,000 = 0.60%
Your cashback will be award on	Feb 2026	\$1,500,00-\$4,000,000 = 0.75%
		\$4,000,001-\$12,500,000 = 0.90%
		\$12,500,001+ = 1.00%

**INTEREST CHARGE CALCULATION**

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Type of Balance	ANNUAL PERCENTAGE RATE (APR)	Balance Subject to Interest Rate	Days in Billing Cycle	Interest Charge
Purchases	14.25% (v)	\$0.00	31	\$0.00

(v) = variable (f) = fixed

**Seven Oaks CDD Credit Card**  
**Combined Totals**  
**10/31/25 Statement**

	<b>General Fund</b>	<b>Enterprise Fund</b>	
Theresa Card	\$ 516.28	\$ 317.37	
John Card	\$ 2,344.36		
Fatina Card	\$ 382.40	\$ 560.87	
Total	\$ 3,243.04	\$ 878.24	
Grand Total	\$ 4,121.28		
Statement Total	\$ 4,121.28		
001-57400-4775	103.72	385.84	400-57200-4664
001-57200-4619	2.50	317.00	400-57200-4724
001-57200-4704	103.01	167.40	400-57200-3222
001-57200-4103	76.90	8.00	400-57200-4613
001-51300-5102	177.00		
001-57200-5101	161.73		
001-57200-4785	273.82		
001-57200-4647	204.03		
001-57200-4660	253.02		
001-53900-4670	271.80		
001-53900-4785	1,593.94		
001-53900-4616	-		
001-53900-4609	21.57		
001-57200-4763	-		



Seven Oaks CDD Credit Card  
Fatina Tannoukhi  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	Office Depot	Shredding	001-57200-5101	\$ 48.51	Y	Y
10/3/2025	Sam's	Event Supplies	001-57400-4775	\$ 14.72	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-4664	\$ 154.08	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-4724	\$ 158.80	Y	Y
10/8/2025	Sam's	Café Supplies	400-57200-3222	\$ 48.86	Y	Y
10/8/2025	Sam's	Food for Staff	001-57200-4785	\$ 194.40	Y	Y
10/16/2025	Dollar Tree	First Aid Supplies	001-57200-4619	\$ 2.50	Y	Y
10/16/2025	Dollar Tree	Event Supplies	001-57400-4775	\$ 6.25	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-4664	\$ 36.63	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-4724	\$ 56.80	Y	Y
10/17/2025	Sam's	Café Supplies	400-57200-3222	\$ 133.16	Y	Y
10/17/2025	Sam's	Facility Supplies	001-57200-4704	\$ 61.22	Y	Y
10/20/2025	Sam's	Event Supplies	001-57400-4775	\$ 14.16	Y	Y
10/20/2025	Netflix	Subscription	001-57200-4103	\$ 20.19	Y	Y
10/20/2025	Publix	Event Supplies	001-57400-4775	\$ 20.45	Y	Y
10/28/2025	Sam's	Refund-Café supplies	400-57200-3222	\$ (27.46)	Y	Y

10/31/25 Statement

001-10103	
Total activity	943.27
Replenish card	-
Credit/Refund	-
Total charges	943.27
\$	943.27

0	Expense Summary	GF	EF
	001-57400-4775	(55.58)	382.40 560.87

001-57200-4619	(2.50)
001-57200-4704	(61.22)
001-57200-5101	(48.51)
001-57200-4103	(20.19)
001-57200-4785	(194.40)
400-57200-4664	(190.71)
400-57200-4724	(215.60)
400-57200-3222	(154.56)
001-57200-4646	
001-57200-4701	
001-57200-4705	
001-57200-4707	-
	(943.27)

TRUE

# Office DEPOT. OfficeMax®

WESLEY CHAPEL - (813) 994-4131

09/30/2025 3:18 PM



EVTVTP34P3UY466XR8

SALE 2603-4-3334-1006067-24.8.1

210762 SHRED PER POUN

49 @ 0.99 48.51

**You Pay 48.51SS**

Subtotal: 48.51

Total: 48.51

MasterCard 6402: 48.51

AUTH CODE 030078

TDS Chip Read

AID A0000000041010 Mastercard

TVR 0000008000

CVS No Signature Required

-----  
Tax Exemption Number 57069521

\*\*\*\*\*  
Shop online at [www.officedepot.com](http://www.officedepot.com)  
\*\*\*\*\*

**WE WANT TO HEAR FROM YOU!**

Visit [survey.officedepot.com](http://survey.officedepot.com)

and enter the survey code below

175V FJGE 3G6T

or scan the below QR code



\*\*\*\*\*



Oct 2, 2025  
Order 10351741503



Curbside pickup items(1)

Wesley Chapel Sam's Club	Date
27727 STATE ROAD 56	
Wesley Chapel, FL 33544	

OREO Fall Treats Orange Creme Sandwich Cookies, 1.02 oz., 40 pk.	Qty 1	\$14.72
<b>Subtotal</b>		\$14.72
Pickup fee		Free
<b>Sales tax</b>		\$0.00
<b>Total</b>		<b>\$14.72</b>
*6402		\$14.72

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



Oct 6, 2025

Order 10353239319



### Shipping items(5)

**THERESA FLORES**

2910 SPORTS CORE CIR

WESLEY CHAPEL, FL 33544

*Staff Cups*  
Dixie to go Insulated Paper Cups, Choose Size Qty 1 \$75.98

*Staff Lids*  
WinCup 16 Series White Plastic Drink Thru Tear Back Lids with Straw Slot, 1000 ct. Qty 1 \$27.46

*Staff Coffee*  
Tim Hortons Premium Medium Roast K-Cup Coffee Pods, Original Blend, 100 ct. Qty 2 \$90.96

*Coffee Supplies*  
Member's Mark Stainless Steel Airpot with Lever (2.2 L) Qty 1 \$21.98

### Curbside pickup items(19)

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

*B* Yoo-hoo Chocolate Drink 11 fl. oz., 24 pk. Qty 1 \$13.78

*F* Pepperidge Farm Goldfish Cheddar Crackers, 1.25 oz., 36 pk. Qty 1 \$12.48

*F* REESE'S Milk Chocolate Peanut Butter Cups, 1.5 oz., 36 pk. Qty 1 \$41.72

*F* Ball Park Tailgaters Crustini Buns 32 oz., 12 ct. Qty 2 \$8.84

*B* Dr Pepper Soda 12 fl. oz., 30 pk. Qty 1 \$14.48

*B* Coca-Cola Soft Drink 12 fl. oz., 35 pk. Qty 2 \$35.76

*B* Diet Coke Soda Soft Drink, 12 fl. oz., 35 pk. Qty 1 \$19.38

Cable  
Supplies

Member's Mark Foam Cups 16 oz., 500 ct.	Qty 1	\$26.88
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SNICKERS Chocolate Caramel Peanut Butter Ice Cream Bars, Frozen, 2 oz., 24 ct.	Qty 1	\$12.36
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Pure Leaf Real Brewed Tea Unsweetened Black Tea 16.9 fl. oz., 18 pk.	Qty 2	\$33.96
--	-------	---------

S.Pellegrino Sparkling Natural Mineral Water 16.9 fl. oz., 24 pk.	Qty 1	\$21.48
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HERSHEY'S Milk Chocolate Candy Bars, 1.55 oz., 36 pk.	Qty 1	\$41.72
---	-------	---------

HERSHEY'S Chocolate Syrup, 48 oz., 2 pk.	Qty 2	\$19.96
--	-------	---------

Nerds Gummy Clusters Candy, Share Size, 3 oz., 12 pk.	Qty 1	\$18.48
---	-------	---------

SunChips Whole Grain Variety Pack Chips, 30 pk.	Qty 1	\$18.48
---	-------	---------

<b>Subtotal</b>		\$556.14
-----------------	--	----------

Pickup fee		Free
------------	--	------

Shipping		Free
----------	--	------

<b>Sales tax</b>		\$0.00
------------------	--	--------

<b>Total</b>		<b>\$556.14</b>
--------------	--	-----------------

 *6402		\$556.14
---	--	----------

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available

Food - 154.08  
Beverage - 158.80  
Staff - 194.40  
Cable Supplies - 48.86



# **DOLLAR TREE**

Store# 7816  
 25653 Sierra Center Blvd (656) 201-6495  
 Lutz FL 33559-7607

DESCRIPTION	QTY	PRICE	TOTAL
ARC ANTISEPTIC SPRAY PUMP 6Z	1	1.25	1.25N
SWAN IPA 70% 16Z	1	1.25	1.25N
CANDY CORN BAG 6Z	1	1.25	1.25N
CANDY CORN BAG 6Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N
TOOTSIE POPS EX VALUE BAG 5.4Z	1	1.25	1.25N

Sub Total \$8.75  
 GENERAL EXEMPT MERC \$0.00  
 PUF/PIF \$0.00  
 SALES TAX \$0.00  
 Total \$8.75

Mastercard  
 \*\*\*\*\*6402 \$8.75  
 Purchase Approved  
 Auth/Trace Number: 016160/015986  
 Chip Card AID: A0000000041010

\*\*\*\* Tax Exempt \*\*\*\*  
 ID #: 2435151339

NOW SHOP ON-LINE AT DOLLARTREE.COM  
 Please provide your feedback at  
 www.dollartreefeedback.com

2788 07816 01 011 28022847 10/16/25 19:20  
 Sales Associate: Victor



Oct 16, 2025

Order 10357501765



**Curbside pickup items(21)**



**Wesley Chapel Sam's Club**

**Date**

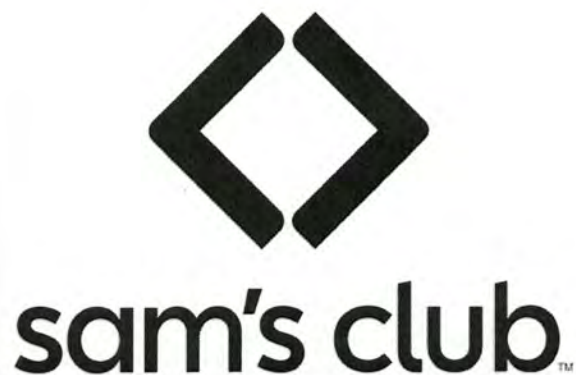
27727 STATE ROAD 56

Wesley Chapel, FL 33544

B	Zephyrhills 100% Natural Spring Water, 20 fl. oz., 28 pk.	Qty 3	\$20.94
Clean	Clorox Performance Bleach, 3 ct., 363 fl. oz.	Qty 1	\$19.48
B	Dr Pepper Soda 12 fl. oz. cans, 36 pk.	Qty 1	\$17.98
F	Member's Mark Beef Franks, 4 oz., 12 ct.	Qty 1	\$12.96
F	Sara Lee Restaurant Style White Hot Dog Buns, 16 ct.	Qty 1	\$3.58
F	Twix Caramel Cookie Chocolate Candy Bars, Full Size, 1.79 oz., 36 pk.	Qty 1	\$39.98
C.S	Member's Mark Everyday 1-Ply White Napkins 4 pks., 300 napkins/pk.	Qty 1	\$12.84
C.S	Members Mark Heavy Duty Paper Food Trays, 2 lbs., 750 ct.	Qty 1	\$21.94
C.S	Member's Mark Ultra Lunch Paper Plates, 8.5", 300 ct.	Qty 1	\$20.98
C.S	Member's Mark Ultra Dessert/Snack Paper Plates, 6.875", 330 ct.	Qty 1	\$16.98
C.S	Ziploc Stay Open Design Gallon Freezer Bags, 152 ct.	Qty 1	\$15.48
B	Coca-Cola Soft Drink 12 fl. oz., 35 pk.	Qty 1	\$17.88
C.S	Member's Mark White Plastic Forks, Heavyweight 600 ct.	Qty 1	\$14.98
C.S	Member's Mark White Plastic Knives, Heavyweight, 600 ct.	Qty 1	\$14.98

C.S	Member's Mark Heavyweight White Plastic Spoons, 600 ct.	Qty 1	\$14.98
Clean	Clorox Disinfecting Cleaning Wipes, Variety Pack, 5 ct., 425 wipes	Qty 1	\$18.78
Clean	Lysol Advanced Toilet Bowl Gel Cleaner 32 fl. oz., 4 pk.	Qty 2	\$22.96
F	Don Lee Farms Flame Grilled Angus Choice Beef Patties, Frozen, 1/4 lb., 12 ct.	Qty 1	\$22.48
<b>Subtotal</b>			\$333.18
Pickup fee			Free
<b>Sales tax</b>			\$0.00
<b>Total</b>			<b>\$330.18</b>
	Sam's Cash		\$42.37
	*6402		\$287.81

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



CLUB MANAGER JASON  
8139297010

WESLEY CHAPEL, FL  
10/20/25 12:04 1605 4852 92

0000362153	BANANAS	
2 AT 1 FOR 1.47		2.94 O
0000457334	CLEMENTINES	7.26 O
0000061971	MINI CUCUMB	3.96 O
SUBTOTAL		14.16
TAX 12	0 %	0.00
TOTAL		14.16
MASTERCARD CREDIT TEND		14.16
MASTERCARD	**** * 6402	
CHANGE DUE		0.00

# ITEMS SOLD 4

TC# 1260 4873 4674 1316 4009



10/20/25 12:04

Download

Print Receipt



Netflix, Inc.  
121 Albright Way  
Los Gatos, CA 95032, USA

clubhousemanager@sevenoakscdd.com

Invoice # 5E38D-0860A-43C9D-246C3

Date	Description	Service Period	Amount	Tax	Total
10/20/25	Streaming Service	10/20/25—11/19/25	\$17.99	\$2.20	\$20.19
			SUBTOTAL	\$17.99	
			TAX TOTAL	\$2.20	
			TOTAL	\$20.19	

Payment Method:  ..... 6402



# Publix

Shoppes at New Tampa  
1920 County Road 581  
Wesley Chapel, FL 33544-9262  
(813) 994-4566  
Store Manager: Michael Barton

Publix Mini Marshmallows	F	1.59
Apple Slices Sweet	F	4.69
Apple Slices Sweet	F	4.69
Bc Frst Oreo Creme	F	3.49
Bc Frst Rch Crmy Crm Chz	F	0.00
You saved: \$2.85		
Pub Mrsls Mlk Chc	F	5.99
Subtotal		20.45
Total Tax		0.00
Total		20.45
Credit		20.45
Change		0.00

\*\*\*\*\*  
**SAVINGS: \$2.85**  
\*\*\*\*\*

MasterCard: \*6402 \$20.45  
Credit Card Purchase  
Auth/Trace: 020559/059718 Chip Read  
Reference: 007011810478  
A0000000041010  
Mastercard

10/20/2025 12:47PM  
Thank you for shopping at store 0006  
Your cashier today was cheryl.  
9280, 0105, 210

Club Publix members save more.  
Join today at [clubpublix.com/newmember](http://clubpublix.com/newmember).  
Terms & conditions apply.

Publix Super Markets, Inc.





(813) 929-7010  
Wesley chapel, FL

## EXPRESS RETURNS

10/28/2025 7:10:00 /PM 4852 38 9998

THERESA 101\*\*\*\*\*1119

536095	WinCupWhite		27.46-
	SUBTOTAL		27.46-
	TAXES		0.00-
	TOTAL		27.46-

Refunded 27.46 to # Mastercard Tender \*\*\*\* 6  
402



\*so-10353239319\*

Visit [samsclub.com](https://www.samsclub.com) to see your savings

Seven Oaks CDD Credit Card  
Theresa Dimaggio  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	SuperSaas	Reservation system subscription	001-51300-5102	\$ 18.00	Y	Y
10/11/2025	Constant Contact	Subscription	001-51300-5102	\$ 131.00	Y	Y
10/13/2025	Vistaprint	Business cards/guest passes	001-57200-5101	\$ 104.97	Y	Y
10/18/2025	Publix	Food for staff	001-57200-4785	\$ 19.48	Y	Y
10/21/2025	Sam's	Cafe supplies	400-57200-4664	\$ 47.92	Y	Y
10/21/2025	Wal-Mart	Facility supplies	001-57200-4704	\$ 9.08	Y	Y
10/21/2025	Microsoft	Subscription	001-57200-5101	\$ 8.25	Y	Y
10/23/2025	Sam's	Cafe supplies	400-57200-4664	\$ 65.64	Y	Y
10/23/2025	Sam's	Cafe supplies	400-57200-4613	\$ 8.00	Y	Y
10/24/2025	SuperSaas	Reservation system subscription	001-51300-5102	\$ 28.00	Y	Y
10/24/2025	Youtubetv	Subscription	001-57200-4103	\$ 56.71	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-4664	\$ 81.57	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-4724	\$ 101.40	Y	Y
10/27/2025	Sam's	Cafe supplies	400-57200-3222	\$ 12.84	Y	Y
10/27/2025	Sam's	Facility supplies	001-57200-4704	\$ 32.71	Y	Y
10/27/2025	Holloway's Farm Supply	Straws stacks	001-57200-4785	\$ 59.94	Y	Y
10/29/2025	Wal-Mart	Event Supplies	001-57400-4775	\$ 48.14	Y	Y

10/31/25 Statement

001-10103	
Total activity	833.65
Replenish card	-
Credit/Refund	-
Total charges	833.65
	\$ 833.65

0	Expense Summary		
	001-57400-4775	(48.14)	GF EF
	001-57200-4619	-	516.28 317.37
	001-57200-4704	(41.79)	
	001-57200-4103	(56.71)	
	001-51300-5102	(177.00)	
	001-57200-5101	(113.22)	
	001-57200-4785	(79.42)	
	400-57200-4664	(195.13)	
	400-57200-4724	(101.40)	
	400-57200-3222	(12.84)	
	400-57200-4613	(8.00)	
	001-57200-4701	-	
	001-57200-4705	-	
	001-57200-4707	-	
		(833.65)	

TRUE



## Invoice

To:  
Seven Oaks CDD  
Theresa DiMaggio  
United States

SuperSaaS B.V.  
Strawinskylaan 6  
1077 XZ Amsterdam  
The Netherlands  
VAT ID: NL851261474B01  
payments@supersaas.com

Invoice date: 10/1/2025  
Invoice number: 20251001-575085-575618  
Customer reference: 575085 – Seven Oaks Clubhouse

Item	VAT	Amount
Package B – Cycle: 1 Month No value added tax will be charged (outside European Union)	\$ 0.00	\$ 18.00

Subtotal (excluding tax)	\$ 18.00
VAT	\$ 0.00
Total (including tax)	<b>\$ 18.00</b>

**Paid in full via Credit Card**

## Theresa Clubhouse Manager

---

**From:** Constant Contact Billing <notification@constantcontact.com>  
**Sent:** Saturday, October 11, 2025 3:05 AM  
**To:** Theresa Clubhouse Manager  
**Subject:** Constant Contact Payment Receipt for Theresa DiMaggio



# Payment Receipt for October 11, 2025

Thank you for your recent payment. Your payment receipt is found below.

Attention: Theresa DiMaggio  
Seven Oaks CDD  
3434 Colwell Ave  
suite 200  
Tampa, FL 33614  
US  
813-907-7987

**User Name:** clubhousemanager@sevenoakscdd.com

**Today's Date:** October 11, 2025

**Payment Date:** October 11, 2025

**Payment Method:** MC (last 4 digits: 7026)

**Amount:** \$131.00

Thank you for your payment!



[Back to history](#)

Order details

clubhousemanager@sevenoakscdd.com


Order #: VP\_K73Q20ZH

[Print order details](#)

Order date: October 13th 2025

Shipping method	Shipping address	Billing address	Payment method	
Economy Estimated arrival Oct 28th	Theresa DiMaggio Seven Oaks 2910 Sports Core Circle Wesley Chapel, Florida 33544-8764 United States of America 8139077987	Theresa DiMaggio 3434 Colwell Ave. Suite 200 Tampa, Florida 33614 United States of America 8139077987	 Mastercard **** 7026	\$104.97

Items



Standard Business Cards  
Quantity: 100

**In transit**  
Expected delivery: Tuesday, Oct 21  
[Check status](#)

**Order summary**

Subtotal	\$104.97
<a href="#">Savings</a>	-\$0.00
Shipping: Economy	<a href="#">FREE</a>
<b>Total paid</b>	<b>\$104.97</b>

Selected options

Item total

\$20.99

Buy now

Add to cart

Edit design & reorder

[Write a review](#)

[More products with this design](#)

[Shop the collection](#)



Standard Business Cards  
Quantity: 250

**In transit**  
Expected delivery: Tuesday, Oct 21  
[Check status](#)

Selected options

Item total

\$36.99

Buy now

Add to cart

Edit design & reorder

[Write a review](#)



Standard Business Cards  
Quantity: 500

**In transit**  
Expected delivery: Tuesday, Oct 21  
[Check status](#)

[Chat with us](#)

# Publix

Arbor Square at Connerton  
7830 Land O Lakes Blvd  
Land O Lakes, FL 34638-5701  
(813) 996-3391  
Store Manager: David Jones

Cafe Bstl Inst Jar	F	9.49
Nescafe Gld Espro Blonde	F	9.99
You saved: \$1.80		

Subtotal	19.48
Total Tax	0.00
Total	19.48
Credit	19.48
Change	0.00

\*\*\*\*\*  
**SAVINGS: \$1.80**  
\*\*\*\*\*

MasterCard: #7026	\$19.48
Credit Card	Purchase
Auth/Trace: 018063/052624	Chip Read
Reference: 002545147586	
A0000000041010	
Mastercard	

10/18/2025 07:49PM  
Thank you for shopping at store 1142  
Your cashier today was Jeannie.  
3827, 0105, 265

Club Publix members save more.  
Join today at [clubpublix.com/newmember](http://clubpublix.com/newmember).  
Terms & conditions apply.

Publix Super Markets, Inc.



1142 AIQ 053 827



Oct 20, 2025

Order 10359145835



**Curbside pickup items(4)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

Member's Mark Canola Oil, 192 fl. oz.

Qty 4

\$47.92

**Subtotal**

\$47.92

Pickup fee


Free

**Sales tax**

\$0.00

**Total**

**\$47.92**

 \*7026

\$47.92

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



Oct 16, 2025 order  
Order# 2000139-10383492



Lime-A-Way Lime Calcium Rust Cleaner, 22 oz

Qty 1 \$8.49

**Subtotal**

**\$8.49**

Tax

\$0.59

**Total**

**\$9.08**



**Charge history** Your transaction activity for this order



Payment method



Ending in 7026

Your payment method has a temporary hold for \$9.08. An updated charge will appear on your statement within 10 business days.



# Invoice

Microsoft Corporation  
One Microsoft Way  
Redmond WA 98052  
United States  
FEIN: 91-1144442

**Sold To**  
Seven Oaks CDD  
2910 Sports Core Cir  
WESLEY CHAPEL  
FL  
33544-8764  
US

**Bill To**  
Seven Oaks CDD  
3434 Colwell Ave  
Ste 200  
Tampa  
FL  
33614-8390  
US

## Invoice Summary

Billing Profile	Seven Oaks CDD
Invoice Number	G119948893
Invoice Date In UTC	10/21/2025

<b>Total Amount</b> <b>Due on 10/21/2025</b>	<b>USD 8.25</b>
---	-----------------

Questions on your bill? Visit <https://aka.ms/invoice-billing>

## Invoice for activity on 10/20/2025

This invoice is for any subscription purchases, renewals, and recurring charges on the date indicated. The service period you are paying for is listed with each subscription below. Find more details about your bill at

<https://admin.microsoft.com/Adminportal/Home#/billoverview/invoice-list/G119948893>

## Billing Summary

Charges	8.25
Subtotal	8.25
Sales Tax (0.00%)	0.00
<b>Total</b>	<b>USD 8.25</b>

Your account has a credit card on file and there is no action for you to take. The card you have on file will be charged.

Payment should only be made by Electronic Funds Transfer.  
Do not send any physical payment to any address on this invoice.





Oct 22, 2025

Order 10359691638



**Shipping items(1)**

**THERESA FLORES**

2910 SPORTS CORE CIR

WESLEY CHAPEL, FL 33544

WinCup 18 Series 12-24 oz. Plastic Lids for 18 Series Foam Cups, Tear Tab + Straw Slot 1000 ct.	Qty 1	\$29.68
--	-------	---------

**Curbside pickup items(2)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

Member's Mark Battered Mozzarella Sticks, Frozen 6 lbs.	Qty 2	\$35.96
---	-------	---------

<b>Subtotal</b>	\$65.64
-----------------	---------

Pickup fee	Free
------------	------

Shipping	\$8.00
----------	--------

<b>Sales tax</b>	\$0.00
------------------	--------

<b>Total</b>	<b>\$73.64</b>
--------------	----------------

*7026	\$73.64
-------	---------

Credit cards aren't charged until your order ships or you pick it up at the club. If you see a pending charge before this, it's an authorization hold to ensure the funds are available



## Invoice

To:  
Seven Oaks CDD  
Theresa DiMaggio  
United States

SuperSaaS B.V.  
Strawinskylaan 6  
1077 XZ Amsterdam  
The Netherlands  
VAT ID: NL851261474B01  
payments@supersaas.com

Invoice date: 10/24/2025  
Invoice number: 20251024-575085-578953  
Customer reference: 575085 – Seven Oaks Clubhouse

Item	VAT	Amount
Package C – Cycle: 1 Month No value added tax will be charged (outside European Union)	\$ 0.00	\$ 28.00

Subtotal (excluding tax)	\$ 28.00
VAT	\$ 0.00
Total (including tax)	<b>\$ 28.00</b>

**Paid in full via Credit Card**



← **Charges on Oct 24, 2025**

**Payment method**

Mastercard \*\*\*\* 7026

**Base Plan**

\$49.99

**Tax** \$6.72

**Total** \$56.71



Oct 26, 2025

Order 10361219545



**Curbside pickup items(14)**

**Wesley Chapel Sam's Club**

**Date**

27727 STATE ROAD 56

Wesley Chapel, FL 33544

F	AirHeads Variety Pack, 0.55 oz., 90 pk.	Qty 1	\$14.68
F	Totino's Frozen Pizza Rolls, Pepperoni 160 ct.	Qty 1	\$11.47
CS	Member's Mark Everyday 1-Ply White Napkins 4 pks., 300 napkins/pk.	Qty 1	\$12.84
Clean	Member's Mark Select & Tear 2-Ply Paper Towel 15 rolls, 150 sheets/roll	Qty 1	\$20.93
B	Gatorade Sports Drinks Variety Pack, 20 fl. oz., 24 pk.	Qty 2	\$36.96
F	Member's Mark Real Crumbled Bacon, 20 oz.	Qty 2	\$17.96
B	Gatorade Zero Sugar Thirst Quencher Variety Pack, 20 fl. oz., 24 pk.	Qty 1	\$18.48
Clean	Dial Antibacterial Foaming Hand Soap, Spring Water, 7.5 fl. oz., 4 pk.	Qty 1	\$11.78
B	S.Pellegrino Sparkling Natural Mineral Water 16.9 fl. oz., 24 pk.	Qty 2	\$45.96
F	SunChips Whole Grain Variety Pack Chips, 30 pk.	Qty 1	\$18.48
F	Lay's Classic Potato Chips, 1 oz., 50 pk.	Qty 1	\$18.98

<b>Subtotal</b>	\$228.52
Pickup fee	Free
<b>Sales tax</b>	\$0.00
<b>Total</b>	<b>\$228.52</b>

# HOLLOWAY'S FARM SUPPLY

3036 Land O' Lakes Blvd.  
Land O' Lakes, FL 34639  
(813) 949-6809  
(813) 949-0774 Fax

MAILING ADDRESS  
9638 Ehren Cutoff  
Land O' Lakes, FL 34639

To 1 MIA  
Phone 813 967 7987 Date 10/27/25  
Address EY4 Terms \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

QTY.	DESCRIPTION	PRICE	TOTAL
6	Staw	59.94	

CUSTOMER'S SIGNATURE \_\_\_\_\_

ALL PURCHASES MADE BY YOU IN ANY ONE MONTH ARE PAYABLE ON OR BEFORE THE TENTH OF THE FOLLOWING MONTH. NO ACCOUNT WILL BE INCREASED AFTER THE 20TH OF THE MONTH.

HOLLOWAYS FARM SUPPL  
3036 LAND O LAKES BLVD  
LAND O LAKES, FL. 34639  
813-949-6809

Sale

xxxxxxxxxxxx7026  
MASTERCARD

Entry Method: Manual

Total: \$ 59.94

10/27/25

13:33:37

Inv #: 000000024

Appr Code: 027550

Apprvd: Online

AVS Code: ZIP MATCH Z

CVV2 Code: MATCH M

Customer Copy  
THANK YOU!





Oct 29, 2025 order  
Order# 2000139-19098035



Kanstar Solar Powered Adjustable Vintage Street Lamp Post Light, White, 42", 2 Pack

Qty 1    \$44.99

**Subtotal**

**\$44.99**

Tax

\$3.15

**Total**

**\$48.14**



**Charge history** Your transaction activity for this order



Payment method



Ending in 7026

Seven Oaks CDD Credit Card  
John Gentilella  
10/31/25 Statement

Date	Vendor	Description	GL Code	Amount	Cleared	Receipt
10/1/2025	Sam's	Gasoline	57200-4660	\$ 84.89	Y	Y
10/3/2025	Paratec Door Solutions	Garage Door repair	53900-4785	\$ 272.00	Y	Y
10/3/2025	BenQ	Projector	53900-4785	\$ 749.00	Y	Y
10/4/2025	Home Depot	Sandpaper/Texture	53900-4785	\$ 21.64	Y	Y
10/6/2025	Amazon	Projector Stand/Screen	53900-4785	\$ 173.79	Y	Y
10/6/2025	Ace Hardware	Shower Valve	57200-4647	\$ 53.99	Y	Y
10/7/2025	BenQ	Projector Dongle	53900-4785	\$ 139.00	Y	Y
10/8/2025	Home Depot	Boards	53900-4670	\$ 36.84	Y	Y
10/9/2025	Amazon	Zipties/sharpener	53900-4785	\$ 17.57	Y	Y
10/10/2025	Amazon	Cap/aerators	53900-4785	\$ 20.33	Y	Y
10/10/2025	Ace Hardware	Shower Handle	57200-4647	\$ 15.29	Y	Y
10/13/2025	Ace Hardware	Shower heads/key	57200-4647	\$ 19.77	Y	Y
10/13/2025	Ace Hardware	Flex seal/fittings	53900-4785	\$ 19.99	Y	Y
10/16/2025	Amazon	A/C filters	57200-4647	\$ 94.99	Y	Y
10/16/2025	Sam's	Gasoline	57200-4660	\$ 87.92	Y	Y
10/20/2025	Home Depot	Bug spray	53900-4785	\$ 15.08	Y	Y
10/20/2025	Home Depot	Boards	53900-4670	\$ 128.16	Y	Y
10/23/2025	Home Depot	Road Patch	53900-4785	\$ 71.91	Y	Y
10/23/2025	Home Depot	Boards	53900-4670	\$ 106.80	Y	Y
10/29/2025	Ace Hardware	Brushes/nuts/bolts/fasteners	53900-4785	\$ 17.03	Y	Y
10/29/2025	Ace Hardware	Concrete	53900-4609	\$ 21.57	Y	Y
10/29/2025	Home Depot	Backup battery	57200-4647	\$ 19.99	Y	Y
10/30/2025	Straight Talk	Cell phone	53900-4785	\$ 47.60	Y	Y
10/30/2025	Sam's	Gasoline	57200-4660	\$ 80.21	Y	Y
10/30/2025	Hungry Harrys	Food for staff	53900-4785	\$ 29.00	Y	Y

10/31/25 Statement

001-10103	
Total activity	2,344.36
Replenish card	-
Credit/Refund	-
Total charges	<u>2,344.36</u>
\$	<b>2,344.36</b>

0	Expense Summary		GF	EF
	57200-4647	(204.03)		
	57200-4660	(253.02)		2,344.36
	53900-4670	(271.80)		
	53900-4616	-		
	53900-4609	(21.57)		
	57200-4763	-		
	53900-4785	<u>(1,593.94)</u>		
		<u>(2,344.36)</u>		

TRUE

Sep 30, 2025 7:33 AM CDT

Transaction 92904057499417199009 \$84.89 In-club

Wesley chapel Sam's Club - 27727 State Road 56, Wesley chapel, FL 33544, +1 (813) 929-7010

Item	Qty	Price (Incl Savings)
UNLEAD GASOLINE Item ID: 658441	1	\$84.89 \$84.89 each

Summary	Subtotal	\$84.89
	Total Savings	\$0.00
	Gift Options	\$0.00
	Sales Tax	\$0.00
Payment	Total Charged to Card	\$84.89
Method	Card ending in *0283	\$84.89

CODE:  
4660



PARATEC DOOR SOLUTIONS INC.  
PO BOX 187  
TARPON SPRINGS, FL 34688  
OFFICE.PARATECDOOR@GMAIL.COM

## Invoice

**BILL TO**

SEVEN OAKS  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FLORDIDA  
33614

**SHIP TO**

SEVEN OAKS  
2910 SPORTS CORE CIRCLE  
WESLEY CHAPEL, FLORDIDA  
33614

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
10751	10/03/2025	\$0.00	11/02/2025	Net 30	

ACTIVITY	AMOUNT
<b>SERVICE</b> 10/2/25 SERVICED (3) JANUS DOORS. SERVICED, ADJUSTED, INSPECTED AND LUBED ALL DOORS. ALL DOORS ARE OPERATIONAL.	260.00
<b>MATERIALS</b> LUBE	12.00T

PAID

Thank you for your business!

Pay invoice

SUBTOTAL	272.00
TAX	0.00
TOTAL	272.00
PAYMENT	272.00
BALANCE DUE	<b>\$0.00</b>

**CODE: 4785**

Invoice # 7000012520  
Order # BBU76000014112  
Order Date: Oct 2, 2025

Sold to:	Ship to:
John Gentilella Seven Oaks CDD 3434 Colwell Ave Ste 200 Tampa, Florida, 33614 United States T: 8132307987	John Gentilella Seven Oaks CDD 2910 Sports Core Cir Wesley Chapel, Florida, 33544 United States T: 8132307987

Payment Method:	Shipping Method:
Online invoice payment	FedEx - Ground  (Total Shipping Charges \$0.00)

Products	SKU	Price	Qty	Tax	Subtotal
BenQ MH733 1080p 4000 ANSI Lumens Projector	MH733-001	\$749.00	1	\$0.00	\$749.00

Subtotal: \$749.00  
Estimated Total: \$749.00

Code: 4785  
Projector for CDD and  
SOPOA meetings





CODE:  
4785  
**How doers  
get more done.**

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00007 69786 10/04/25 12:38 PM  
SALE CASHIER CAROLINE

033873211129 STEEL WOOL <A> 4.98N  
#2 M COARSE STL WOOL PAD 12PK  
678885214272 SINGLES HOT 1 <A> 9.98N  
SINGLE SHOT WALL TEXT 3013 120Z  
638060853542 PGP1/2 220 <A> 6.68N  
3M PGP 3.7X9 SANDPAPER 220 GRIT 6PK

SUBTOTAL 21.64  
SALES TAX 0.00

TAX EXEMPT

TOTAL \$21.64

XXXXXXXXXXXX0283 MASTERCARD

USD\$ 21.64

AUTH CODE 004058/4070415

TA

Chip Read

AID A0000000041010

Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: 0

2025 PRO XTRA SPEND 10/03: \$827.01

Get the CREDIT LINE your business needs  
PLUS earn Perks 4X FASTER when you join  
Pro Xtra, register, & use your Pro Xtra  
Credit Card. Apply and SAVE UP TO \$100.  
Learn more at [homedepot.com/credit](http://homedepot.com/credit)

6311 10/04/25 12:38 PM



6311 07 69786 10/04/2025 5398

RETURN POLICY DEFINITIONS

POLICY ID DAYS POLICY EXPIRES ON  
A 1 90 01/02/2026


# Order Summary

Order placed October 6, 2025    Order # 111-7816912-6370642

Ship to	Payment method	Order Summary	
John Gentilella 2910 SPORTS CORE CIR WESLEY CHAPEL, FL 33544-8764 United States	Mastercard ending in 0283 <a href="#">View related transactions</a>	Item(s) Subtotal:	\$173.79
		Shipping & Handling:	\$0.00
		Total before tax:	\$173.79
		Estimated tax to be collected:	\$0.00
		<b>Grand Total:</b>	<b>\$173.79</b>

**Delivered October 7**


Your package was delivered. It was handed directly to a resident.  
Signed by: Desk



Projector Stand Tripod Adjustable, Laptop Height from 23.5 to 46.5 inches with Gooseneck Phone Holder, Floor for Office, Home, Stage, Studio, DJ Racks Holder Mount, 23.5inch-46.5inch  
Sold by: Tanenuos Direct  
Supplied by: Other  
Return or replace items: Eligible through November 6, 2025  
\$29.98

**Delivered October 7**

Your package was left near the front door or porch.



PropVue Projector Screen with Stand 84" - Indoor & Outdoor Projection Screen for Movie or Office Presentation - 16:9 HD Premium Wrinkle-Free Tripod Screen for Projector with Carry Bag & Tight Strap  
Sold by: PropVue  
Return or replace items: Eligible through November 6, 2025  
\$143.81

CODE: 4785

KEEP THIS RECEIPT TO ENTER

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/06/25 8:38AM AMANDAM 265 SALE

42015701 EA \$53.991EA CN  
CARTRIDGE MOEN POSI-TEMP \$53.99  
You Saved : 6.00

SUB-TOTAL:\$ 53.99 TAX: \$ .00  
TOTAL: \$ 53.99  
BC AMT: \$ 53.99

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 006349 AMT: \$ 53.99  
Host reference #:215245 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE:MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM :  
Name : Mastercard  
ATC :0005  
AC : E6CB7CE76A634B65  
TxnID/ValCode: 147253

Bank card USD\$ 53.99

Total Items:1



==>> JRNL# 015245  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

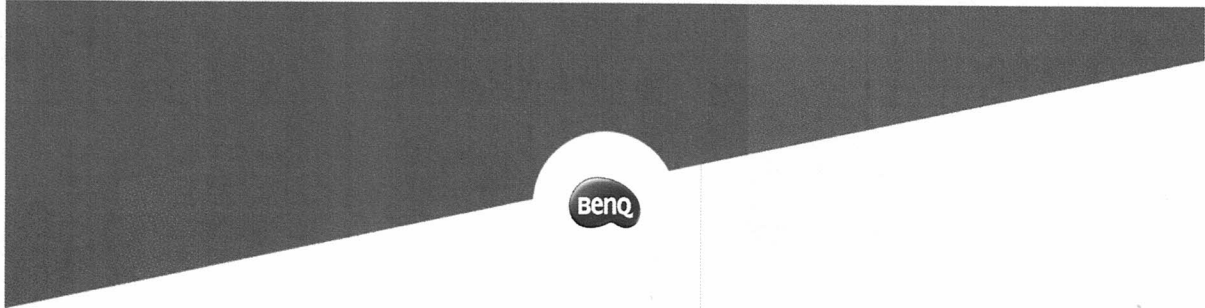
Customer Copy

YOU SAVED \$ 6.00 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS

## Seven Oaks Maintenance

**From:** BenQ America Corp. <receipts+acct\_1HleGqLae2r1AKVc@stripe.com>  
**Sent:** Tuesday, October 07, 2025 12:32 PM  
**To:** Seven Oaks Maintenance  
**Subject:** Your BenQ America Corp. receipt [#1679-6177]



### Receipt from BenQ America Corp.

Receipt #1679-6177

AMOUNT PAID	DATE PAID	PAYMENT METHOD
\$139.00	Oct 7, 2025, 9:31:05 AM	● - 0283

#### SUMMARY

(PROJECTOR DONGLE)

Order #BBU76000014206 by John Gentilella \$139.00

**Amount paid** **\$139.00**

If you have any questions, contact us at  
**BenQSupport.US@benq.com** or call us at **+1 866-600-2367**.

Something wrong with the email? [View it in your browser.](#)

CODE:  
4785



CODE: 4670

How doers  
get more done™

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00038 85738 10/08/25 12:24 PM  
SALE CASHIER KIMBERLY

090489439354 2X6-12 PT 2P <A>  
2X6-12FT #2PRIME PT GC WEATHERSHIELD 36.84N  
3@12.28

	SUBTOTAL	36.84
	SALES TAX	0.00
TAX EXEMPT	TOTAL	\$36.84
XXXXXXXXXXXX0283	MASTERCARD	USD\$ 36.84
		TA
AUTH CODE 008742/0380542		
Contactless		
AID A0000000041010	Mastercard	

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: SHOP

2025 PRO XTRA SPEND 10/07: \$848.65

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Credit Card. Apply and SAVE UP TO \$100.  
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6311 10/08/25 12:24 PM



6311 38 85738 10/08/2025 6028

RETURN POLICY DEFINITIONS		
POLICY ID	DAYS	POLICY EXPIRES ON
A 1	90	01/06/2026



# Order Summary

Order placed October 9, 2025    Order # 114-7336252-7594658

Ship to	Payment method	Order Summary	
John Gentilella 2910 SPORTS CORE CIR WESLEY CHAPEL, FL 33544-8764 United States	Mastercard ending in 0283 <a href="#">View related transactions</a>	Item(s) Subtotal:	\$17.57
		Shipping & Handling:	\$0.00
		Total before tax:	\$17.57
		Estimated tax to be collected:	\$0.00
		Grand Total:	\$17.57

## Delivered October 10

Your package was delivered. It was handed directly to a resident.  
Signed by: John



Zip Ties, RAZCC 120 Pack 12 inch Black Cable Ties, Heavy Duty Plastic Wire Ties with 100 lb Tensile Strength, Black Nylon Zip Ties for Indoor and Outdoor  
Sold by: RAZCC Direct  
Return or replace items: Eligible through November 9, 2025  
\$6.58



AccuSharp Knife Sharpener, Ergonomic Comfortable Handle, Compact & Easy to Use, Restore and Hone Straight & Serrated Knives, Blaze Orange  
Sold by: AccuSharp  
Return or replace items: Eligible through November 9, 2025  
\$10.99

CODE:  
4785

# Order Summary

Order placed October 9, 2025    Order # 114-6943755-4024259

Ship to	Payment method	Order Summary
John Gentilella 2910 SPORTS CORE CIR WESLEY CHAPEL, FL 33544-8764 United States	Mastercard ending in 0283 <a href="#">View related transactions</a>	Item(s) Subtotal: \$20.98 Shipping & Handling: \$0.00 Your Coupon Savings: -\$0.65 Total before tax: \$20.33 Estimated tax to be collected: \$0.00 <b>Grand Total: \$20.33</b>

## Delivered October 11

It was handed directly to a receptionist or someone at a front desk.  
Signed by: Teresa



Boxonly IBC Tank Adapter - Water Tote Tank Connector Hose Pipe - Inlet 60mm  
Coarse Thread - 3/4" Water Storage Outlet Caps  
Sold by: PELLUCID  
Return or replace items: Eligible through November 10, 2025  
\$12.99



BOETOADG 8PCS Faucet Aerator M16.5, Plug-In Faucet Aerator Faucet Restrictor  
Replacement Parts for Kitchen Bathroom Sink Aerator with 2 Key Removal Wrench  
Tool, 1.2GPM, 16.5mm/0.65inch  
Sold by: Hning-US  
Return or replace items: Eligible through November 10, 2025  
\$7.99

CODE:  
4785

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/10/25 9:26AM JEANNEC 265 SALE

4007545 1 EA \$15.29 EA CN  
FCT HNDL T/S MDEN CP \$15.29  
You Saved : 1.70

SUB-TOTAL:\$ 15.29 TAX: \$ .00  
TOTAL: \$ 15.29  
BC AMT: \$ 15.29

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 010516 AMT: \$ 15.29  
Host reference #:216502 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE:MASTERCARD EXPR: XXXX  
AID : A0000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC :0008  
AC : E405251AB5097A93  
TxnID/ValCode: 163935

Bank card USD\$ 15.29

Total Items:1



==>> JRNL# C16502  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 1.70 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/13/25 8:33AM AMANDAM 265 SALE

40076 2 EA \$8.09 EA CN  
SHOWER HEAD VELVA-FLO CHRMBL \$16.18  
You Saved : 1.80  
5073523 1 EA \$3.59 EA CN  
KEY MASTER M1-ACE250PK \$3.59  
You Saved : .40

SUB-TOTAL: \$ 19.77 TAX: \$ .00  
TOTAL: \$ 19.77  
BC AMT: \$ 19.77

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 013973 AMT: \$ 19.77  
Host reference #:217595 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE: MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC : 0009  
AC : A1C33C1931F2EC50  
TxnID/ValCode: 177888

CODE:  
4647

Bank card USD\$ 19.77

Total Items: 3



==>> JRNL# C17595  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.20 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/13/25 11:32AM AMANDAM 265 SALE

6215107 1 EA \$14.99 EA SN  
FLEX SEAL 14 OZ BLACK \$14.99  
You Saved : 2.00  
7402944 4 EA \$1.251EA CN  
PVC RISR 1/2MNPT X CLOSE \$5.00  
You Saved : .56

SUB-TOTAL: \$ 19.99 TAX: \$ .00

TOTAL: \$ 19.99

BC AMT: \$ 19.99

BK CARD#: XXXXXXXXXXXX0283

MID:\*\*\*\*\*5880 TID:\*\*\*4733

AUTH: 013982 AMT: \$ 19.99

Host reference #:217677 Bat#

Authorizing Network: MASTERCARD

Contactless

CARD TYPE:MASTERCARD EXPR: XXXX

AID : A00000000041010

TVR : 0000008001

IAD : 0110A040012200000000000000000000

TSI :

ARC : 00

MODE : Issuer

CVM : No CVM

Name : Mastercard

ATC : 000A

AC : F236EF2EDBC88E79

TxnID/ValCode: 179099

Bank card USD\$ 19.99

Total Items:5



==>> JRNL# C17677

CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.56 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
10% OFF ON FEATURED ITEMS




# Order Summary

Order placed October 16, 2025    Order # 114-6619079-7184256

Ship to	Payment method	Order Summary	
John Gentilella 2910 SPORTS CORE CIR WESLEY CHAPEL, FL 33544-8764 United States	Mastercard ending in 0283 <a href="#">View related transactions</a>	Item(s) Subtotal:	\$94.99
		Shipping & Handling:	\$0.00
		Total before tax:	\$94.99
		Estimated tax to be collected:	\$0.00
		<b>Grand Total:</b>	<b>\$94.99</b>

**Delivered October 17**



Filter King 20x23x1 Air Filter | 12-PACK | MERV 8 HVAC Pleated A/C Furnace Filters |  
MADE IN USA | Actual Size: 19.5 x 22.5 x .75"  
Sold by: Filter King LLC  
Supplied by: Other  
Return or replace items: Eligible through November 16, 2025  
\$94.99

CODE:  
4647

Oct 16, 2025 6:30 AM CDT

Transaction 2434449364373724964 \$87.92 In-club

Wesley chapel Sam's Club - 27727 State Road 56, Wesley chapel, FL 33544, +1 (813) 929-7010

Item	Qty	Price (Incl Savings)
UNLEAD GASOLINE <u>Item ID: 658441</u>	1	\$87.92 \$87.92 each

Summary

Subtotal	\$87.92
Total Savings	\$0.00
Gift Options	\$0.00
Sales Tax	\$0.00

Payment

Total Charged to Card	\$87.92
-----------------------	---------

Method

Card ending in *0283	\$87.92
----------------------	---------

CODE:  
4660



How doers  
get more done.

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00001 12409 10/20/25 01:52 PM  
SALE CASHIER SARAH

090489197339 2X8-8 PT 2P <A>  
2X8-8FT #2PRIME PT GC 128.16N  
12@10.68  
071121963208 INSECT SPRAY <A>  
RK ANT & ROACH AERO 17.5 OZ  
4@3.77 15.08N

SUBTOTAL 143.24  
SALES TAX 0.00  
TAX EXEMPT  
TOTAL \$143.24  
XXXXXXXXXXXX0283 MASTERCARD  
USD\$ 143.24  
AUTH CODE 020201/8011191 TA  
Chip Read  
AID A0000000041010 Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: SHOP

2025 PRO XTRA SPEND 10/19: \$885.49

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6311 10/20/25 01:52 PM



6311 01 12409 10/20/2025 8386

RETURN POLICY DEFINITIONS

POLICY ID	DAYS	POLICY EXPIRES ON
A 1	90	01/18/2026



How doers  
get more done.

17601 BRUCE B. DOWNS BLVD.  
TAMPA, FL 33647 (813)971-7791

6311 00038 92916 10/23/25 08:33 AM  
SALE CASHIER KIMBERLY *4670*

090489197339 2X8-8 PT 2P <A>  
2X8-8FT #2PRIME PT GC 106.80N  
10@10.68  
764661160601 60AWBLACK <A>  
60LB SAKRETE BLACKTOP PATCH 71.91N  
3@23.97

SUBTOTAL 178.71  
SALES TAX 0.00 *9785*

TAX EXEMPT TOTAL \$178.71

XXXXXXXXXXXX0283 MASTERCARD USD\$ 178.71

AUTH CODE 023762/5380814 TA  
Contactless  
AID A0000000041010 Mastercard

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-7987 SUMMARY  
THIS RECEIPT PO/JOB NAME: NA

2025 PRO XTRA SPEND 10/22: \$1,028.73

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Pro Xtra, register, & use your Pro Xtra  
Credit Card. Apply and SAVE UP TO \$100.  
Learn more at [homedepot.com/credit](http://homedepot.com/credit)

6311 10/23/25 08:33 AM



6311 38 92916 10/23/2025 6452

RETURN POLICY DEFINITIONS  
POLICY ID DAYS POLICY EXPIRES ON  
A 1 90 01/21/2026

THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/29/25 9:45AM VIRGINIA 265 SALE

1014296 1 EA \$2.51 EA CN  
CHISEL PNT BRSH ASST 3PK \$2.51  
You Saved : .28  
NUTS 1 EA .18 EA N  
NUTS/BOLTS/FASTENERS \$1.18  
NUTS 6 EA .20 EA N  
NUTS/BOLTS/FASTENERS \$1.20  
NUTS 6 EA \$2.19 EA N  
NUTS/BOLTS/FASTENERS \$13.14

SUB-TOTAL: \$ 17.03 TAX: \$ .00  
TOTAL: \$ 17.03  
BC AMT: \$ 17.03

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 029832 AMT: \$ 17.03  
Host reference #:222950 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE: MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A040012200000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CYM : No CVM  
Name : Mastercard  
ATC : 000D  
AC : F070FF4C38225985  
TxnID/ValCode: 252060

Bank card USD\$ 17.03

Total Items: 14

==>> JRNL# C22950  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ .28 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945



THANK YOU FOR SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945  
(813) 973-2000

10/29/25 2:54PM SALLYD 265 SALE

52375 3 EA \$7.191EA CN  
CONCRETE MIX QUIKRETE60# \$21.57  
You Saved : 2.40

SUB-TOTAL:\$ 21.57 TAX: \$ .00  
TOTAL: \$ 21.57  
BC AMT: \$ 21.57

BK CARD#: XXXXXXXXXXXX0283  
MID:\*\*\*\*\*5880 TID:\*\*\*4733  
AUTH: 029419 AMT: \$ 21.57  
Host reference #:223128 Bat#

Authorizing Network: MASTERCARD

Contactless  
CARD TYPE: MASTERCARD EXPR: XXXX  
AID : A00000000041010  
TVR : 0000008001  
IAD : 0110A0400122000000000000000000  
TSI :  
ARC : 00  
MODE : Issuer  
CVM : No CVM  
Name : Mastercard  
ATC : 000E  
AC : D99AB5ED03898B1D  
TxnID/ValCode: 254507

Bank card USD\$ 21.57

Total Items:3



==> JRNL# C23128  
CUST NO: 170931

Acct: SEVEN OAKS COMMUNITY DEVELOP

Customer Copy

YOU SAVED \$ 2.40 BY SHOPPING AT  
VISION ACE WESLEY CHAPEL 18945

ACE REWARDS MEMBERS GET INSTANT  
SAVINGS ON FEATURED ITEMS



## SEVEN OAKS CDD

Order # WH13337257

---

PO/Job Name: WH13337257

### Ship To Home

**Ordered**

10/29/2025

**Shipped**

10/29/2025

CODE:  
4647

Item Description	Qty	Unit Price	Discount	Net Unit Price	Pre Tax Amount
12-Volt 7Ah F2 Replacement Battery for CyberPower CP850AVRLCD SKU 1010234974	1	\$19.99	\$0.00	\$19.99	\$19.99

Subtotal	\$19.99
Discount	\$0.00
Shipping	\$0.00
Delivery Charge	\$0.00
Sales Tax	\$0.00
<b>Order Total</b>	<b>\$19.99</b>

## ORDER DETAILS

10/29/2025

### Enroll

Order ID: BRM20251029269800718

Status: SUCCESSFUL PAYMENT

### Cart



#### Silver Unlimited

\$45.00

Unlimited talk, text & data

10 GB hotspot data per month

International calls to Canada & Mexico

### Order Summary

SubTotal \$45.00

Discount -\$1.00

Mandatory Taxes and Fees ▼ \$0.60

Other fees and Surcharges ▼ \$3.00

**ORDER TOTAL \$47.60**

### PAYMENT

#### PAYMENT METHOD

Credit Card



\*\*\*\*0283

CODE:  
4785

COPY OF RECEIPT SHOULD NOT BE USED

# ITEMS HISTORY NOT A RECEIPT

CLUB MANAGER JASON  
8139297010

WESLEY CHAPEL, FL  
10/30/25 08:26 9014 4852 88

Pump# 6 UNLEAD	
Gallons	30.862
Price/Gal	\$2.599
Fuel Sale	\$80.21

MASTERCARD CREDIT TEND	\$80.21
MASTERCARD **** * 0283	
Apprvl: 030265	

10/30/25 08:26

CODE: 4660

# Hungry Harrys BBQ- Land O Lakes

3116 Land O Lakes Blvd.  
Land O Lakes, FL 34639  
(813) 949-2025

Ticket #16884315  
10/30/2025 11:03:14 AM

User: DOREEN

Table: 3

SALE

MID 000074927799

CARD #\*\*\*\*0283

Entry method: CONTACTLESS

Amount: \$23.51

+ Tip:

= Total:

\$5.49

\$29.00

I agree to pay the above total amount  
according to the card issuer agreement

SIGN:

CODE: 4785





WASTE CONNECTIONS OF FLORIDA  
PASCO HAULING EAST  
20719 US HIGHWAY 301  
DADE CITY, FL 33523-6665  
DISTRICT NO. 6426

PAGE 1

ACCOUNT NO. 6426-016005  
INVOICE NO. 2056410W426  
STATEMENT DATE 11/20/25  
DUE DATE 11/26/25  
BILLING PERIOD 11-11

SEVEN OAKS COMM DEV DIST  
3434 COLWELL AVE STE 200  
TAMPA, FL 33614

FOR ASSISTANCE CALL  
Customer Service (352) 583-4204  
One Time Payments (800) 457-1379

### INVOICE STATEMENT

Date	Description	Amount
	Contract No: 16005-1 Service Location Acct #016005-0001	
	SEVEN OAKS COMM DEV DIST 2910 SPORTS CORE CIRCLE WESLEY C	
11/20/25	FUEL SURCHARGE 1.00 SC70364473	\$ 156.69
11/20/25	ENVIRONMENTAL SURCHARGE 1.00 SC70364472	\$ 75.48
11/20/25	BASIC SERVICE CHARGE 1.00 8.00YD	\$ 754.75
	12/1/2025-12/31/2025	
	Invoice Total	\$ 986.92
	Account Balance	\$ 986.92

\*\*\*\*To avoid late fees, payment must be posted to your account within 30 days of your invoice date. \*\*\*\*  
Bank returned checks will be electronically re-presented to your bank and you may be responsible for a resulting processing fee.

Your next invoice may include a rate adjustment. Please contact us if you have any questions or objections.

VIEW/PAY YOUR BILL ONLINE! \* Make payments \* Set up recurring payments \* \*Access your account 24/7 \*Go paperless \* View Statements \* \*It's FREE! There is no charge to view or pay your bill on our website\*  
Go to myaccount.wcicustomer.com and follow the online bill pay prompts to register today.

Please remit to the address below and return your remit stub with your payment.

NNNNNNNNNNY



WASTE CONNECTIONS OF FLORIDA  
PASCO HAULING EAST  
20719 US HIGHWAY 301  
DADE CITY, FL 33523-6665

ACCOUNT NO. 6426-016005  
INVOICE NO. 2056410W426  
STATEMENT DATE 11/20/25  
DUE DATE 11/26/25  
PAY THIS AMOUNT 986.92

WRITE  
AMOUNT  
PAID \$

SEVEN OAKS COMM DEV DIST  
3434 COLWELL AVE STE 200  
TAMPA, FL 33614

MAIL PAYMENT TO:  
WASTE CONNECTIONS OF FLORIDA  
PO BOX 535233  
PITTSBURGH, PA 15253-5233

6426 00000000000000000000X0160051 0000009869200000000000002056410 1

# SUMMARY BILLING

**Customer Name**  
SEVEN OAKS CDD

**RECEIVED**  
OCT 31 2025

**Customer  
Number**  
10203732

**Bill Date**  
10/27/2025

**BY:** .....

Account	Account Description	Reading		Rate	kWh	DMD	Balance Forward	Current Charges	Total Charges
		From	To						
1338799		09/22	10/22	GS	137		0.00	54.90	54.90
1338800		09/22	10/22	GS	185		0.00	60.07	60.07
1338801		09/22	10/22	GS	118		0.00	52.86	52.86
1338802		09/22	10/22	GS	5		0.00	40.70	40.70
1338803		09/22	10/22	GS	147		0.00	55.98	55.98
1338804		09/22	10/22	GS	60		0.00	46.61	46.61
1338817		09/22	10/22	GS	10		0.00	41.24	41.24
1338818				PL			0.00	14,803.98	14,803.98
1338819		09/22	10/22	GS	9		0.00	41.14	41.14
1338820		09/22	10/22	GS	0		0.00	40.16	40.16
1338821		09/22	10/22	GS	9		0.00	41.14	41.14
1338822		09/22	10/22	GS	160		0.00	57.37	57.37
1338823		09/22	10/22	GS	157		0.00	57.06	57.06
1338824		09/22	10/22	GS	137		0.00	54.90	54.90
1338825		09/22	10/22	GS	73		0.00	48.02	48.02
1338826		09/22	10/22	GS	134		0.00	54.58	54.58
1338827		09/22	10/22	GS	153		0.00	56.63	56.63
1338828		09/22	10/22	GS	0		0.00	40.16	40.16
1338829		09/22	10/22	GS	3		0.00	40.48	40.48
1338830		09/22	10/22	GS	4		0.00	40.59	40.59
1338831		09/22	10/22	GS	5		0.00	40.70	40.70
1338832		09/22	10/22	GS	5		0.00	40.70	40.70
1338833		09/22	10/22	GS	5		0.00	40.70	40.70
1338834		09/22	10/22	GS	4		0.00	40.59	40.59
1338835		09/22	10/22	GS	0		0.00	40.16	40.16
1338836		09/22	10/22	GS	13		0.00	41.56	41.56
1338837		09/22	10/22	GS	4		0.00	40.59	40.59
1338838		09/22	10/22	GS	174		0.00	58.89	58.89
1338839		09/22	10/22	GS	4		0.00	40.59	40.59
1338840		09/22	10/22	GS	201		0.00	61.78	61.78

\*\*\* Continued on Next Page \*\*\*

District: OP17



10203732  
SEVEN OAKS CDD  
PETE WILLIAMS  
3434 COLWELL AVE STE 200  
TAMPA FL 33614-8390

OP17

\*\* Summary Bill \*\*



# SUMMARY BILLING

**Customer Name**  
SEVEN OAKS CDD

**Customer  
Number**  
10203732

**Bill Date**  
10/27/2025

Account	Account Description	Reading		Rate	kWh	DMD	Balance Forward	Current Charges	Total Charges
		From	To						
1338842		09/22	10/22	GS	161		0.00	57.48	57.48
1338805	ANC-PUMP	09/22	10/22	GS	176		0.00	59.10	59.10
1338813	ANCI-WELL	09/22	10/22	GS	0		0.00	40.16	40.16
1338787	BAYBROOK	09/22	10/22	GS	0		0.00	40.16	40.16
1338783	BEECHGROV	09/22	10/22	GS	95		0.00	50.39	50.39
1338778	BRIARGLAD	09/22	10/22	GS	5		0.00	40.70	40.70
1338785	BROOKFRST	09/22	10/22	GS	195		0.00	61.15	61.15
1338812	CHAPELCRE	09/22	10/22	GS	123		0.00	53.39	53.39
1338788	CLOCK	09/22	10/22	GS	314		0.00	73.95	73.95
1338789	CLUBHOUSE	09/22	10/22	LP	14080	43	0.00	1,449.07	1,449.07
1338816	COTTONKEY	09/22	10/22	GS	4		0.00	40.59	40.59
1338786	ENTRANCE	09/22	10/22	GS	86		0.00	49.41	49.41
1338790	ENTRANCE	09/22	10/22	GS	88		0.00	49.63	49.63
1338794	ENTRANCE	09/22	10/22	GS	185		0.00	60.07	60.07
1338806	FIRE-PUMP	09/22	10/22	GS	4		0.00	40.59	40.59
1338775	FNTN/AOAK	09/22	10/22	LP	16186	32	0.00	1,540.15	1,540.15
1338797	GATE-ARRO	09/22	10/22	GS	20		0.00	42.32	42.32
1338792	IRRIGATN	09/22	10/22	GS	0		0.00	40.16	40.16
1338782	KIRKWOOD	09/22	10/22	GS	4		0.00	40.59	40.59
1338795	LANDSCAPE	09/22	10/22	GS	43		0.00	44.79	44.79
1338777	LAUREL	09/22	10/22	GS	177		0.00	59.21	59.21
1338772	LIGHTS			PL			0.00	6,029.91	6,029.91
1338780	MILLHOPPR	09/22	10/22	GS	4		0.00	40.59	40.59
1338809	MIST-GATE	09/22	10/22	GS	63		0.00	46.94	46.94
1338791	POOL	09/22	10/22	LP	42720	136	0.00	4,342.24	4,342.24
1338779	ROSEHAVEN	09/22	10/22	GS	5		0.00	40.70	40.70
1338811	SHOREGRAS	09/22	10/22	GS	185		0.00	60.07	60.07
1338815	SHOREGRAS	09/22	10/22	GS	3		0.00	40.48	40.48
1338796	SIGN	09/22	10/22	GS	10		0.00	41.24	41.24
1338781	SILVERMOS	09/22	10/22	GS	2		0.00	40.38	40.38

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District: OP17



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# SUMMARY BILLING

**Customer Name**  
SEVEN OAKS CDD

**Customer  
Number**  
10203732

**Bill Date**  
10/27/2025

Account	Account Description	Reading		Rate	kWh	DMD	Balance Forward	Current Charges	Total Charges
		From	To						
1338784	SILVERMOS	09/22	10/22	GS	106		0.00	51.57	51.57
1338808	SISAL-PUM	09/22	10/22	GS	0		0.00	40.16	40.16
1338793	STORAGE	09/22	10/22	GS	31		0.00	43.50	43.50
1338807	WEKIVA-PU	09/22	10/22	GS	3		0.00	40.48	40.48
1338814	WELL-3017	09/22	10/22	GS	280		0.00	70.29	70.29
1338773	WELL/AOAK	09/22	10/22	GS	10		0.00	41.24	41.24
1338774	WELL/SUMM	09/22	10/22	GS	145		0.00	55.76	55.76
1338810	WINGED EL	09/22	10/22	GS	147		0.00	55.98	55.98
Subtotal:					77576	211	0.00	31,189.42	31,189.42

Bill Date: 10/27/2025

Becomes Past Due On: 11/17/2025

Please Pay: 31,189.42

District: OP17



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SEVEN OAKS CDD  
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